



# CITY OF GRAND PRAIRIE

City Hall  
300 W. Main Street  
Grand Prairie, Texas

## Meeting Agenda City Council Meeting

**Tuesday, June 07, 2022**

**4:30 PM**

**City Hall - Briefing Room**

*The meeting will be held at City Hall, 300 W. Main St, Grand Prairie, Texas, and the Mayor or presiding member will be physically present. Council members may be participating remotely via video conference.*

### **CALL TO ORDER**

### **STAFF PRESENTATIONS**

- [1.](#) Live Life Grand Campaign
- [2.](#) Tourism Travel Shows and Local Familiarization Tour
- [3.](#) Summer Reading Club Kick Off
- [4.](#) Parks, Arts & Recreation 2021 Annual Report

### **AGENDA REVIEW**

### **EXECUTIVE SESSION**

*The City Council may conduct a closed session pursuant to Chapter 551, Subchapter D of the Government Code, V.T.C.A., to discuss any of the following:*

- (1) Section 551.071 "Consultation with Attorney" - Poly-America Fire Cost Recovery*
- (2) Section 551.072 "Deliberation Regarding Real Property"*
- (3) Section 551.074 "Personnel Matters"*
- (4) Section 551.087 "Deliberations Regarding Economic Development Negotiations."*

City Council also reserves the right to discuss any agenda item in closed session when authorized by the above referenced provisions. Any final action will be taken during open session.

### **RECESS MEETING**

**6:30 PM Council Chambers**

### **RECONVENE MEETING**

**Invocation led by Pastor Josh Briscoe of Gateway Church Grand Prairie.**

**Pledge of Allegiance to the US Flag and Texas Flag led by Council Member Lopez.**

## PRESENTATIONS

- [5.](#) Proclamation Acknowledging Juneteenth

## CONSENT AGENDA

*The full agenda has been posted on the city's website, [www.gptx.org](http://www.gptx.org), for those who may want to view this agenda in more detail. Citizens may speak for five minutes on any item on the agenda by completing and submitting a speaker card.*

- [6.](#) Minutes of the May 17, 2022, City Council Meeting
- [7.](#) City Manager Contract
- [8.](#) Purchase of three passenger paratransit buses from Creative Bus Sales in the amount of \$428,028.00
- [9.](#) Professional services agreements for psychological testing services with Altman Psychological Services, PLLC in the annual amount not to exceed \$20,000; and with Price, Proctor & Associates in the annual amount not to exceed \$20,000; and polygraph testing service with Behavioral Measures & Forensic Services in the annual amount not to exceed \$20,000. All agreements will be for one year with the option to renew for four additional one-year periods totaling a not to exceed amount of \$300,000 if all extensions are exercised. Authorize the City Manager to execute the renewal options with aggregate price fluctuations of \$5,000 so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms
- [10.](#) Reject all Bids from RFB #22078 for Electrical Services
- [11.](#) Reject all bids from RFB #22034 for Janitorial Services
- [12.](#) Forum Estates PID Contract with Brick and Stone Master for Forum Drive Walls, Entry Monuments, and Planter Boxes in the amount of \$560,631 (Council District 2)
- [13.](#) Grand Prairie Hotel Development Corporation Director Removal/Appointment
- [14.](#) A Resolution Suspending the June 17, 2022 Effective Date of Oncor Electric Delivery Company's Rate Change To Permit the City Time to Study the Request and to Establish Reasonable Rates
- [15.](#) Resolution authorizing the City Manager to execute a master inter-local purchasing agreement between the City of Grand Prairie and the City of Horizon, Texas
- [16.](#) Resolution authorizing the City Manager to amend an agreement with the Texas Department of Transportation for the 100% reimbursement of the City cost increase from \$54,250.00 to \$69,350.00 for the construction of traffic signals for IH30 at Carrier Parkway and IH30 at NW 7<sup>th</sup> Street

- [17.](#) Ordinance to convey required utility easement and right of way to Oncor Electric Delivery Company LLC being part of Lot 1R, Block 4, Epic Central Phase III, for switchgear, Dallas County
- [18.](#) Ordinance to convey a utility easement and right of way to Oncor Electric Delivery Company, LLC located at Egyptian Way, Dogwood Court and SH 161, Dallas County
- [19.](#) A resolution of the City of Grand Prairie, Texas approving and authorizing an agreement with the Texas Municipal Retirement System pertaining to the City of Grand Prairie, Texas, General Obligation Pension Bonds

#### **ITEMS FOR INDIVIDUAL CONSIDERATION**

- [20.](#) Appointments of Mayor Pro Tem and Deputy Mayor Pro Tem

#### **PLANNING AND ZONING ITEMS TO BE TABLED**

- [21.](#) ZON-22-03-0007 – Zoning Change/Concept Plan – Jefferson at Loyd Park (City Council District 4). Zoning Change from Agriculture to a Planned Development District for two Multi-Family tracts with 900 units along with 122 townhome lots on 58.38 acres. Multiple parcels within the Ralph Graves Survey, Abstract 569, City of Grand Prairie, Tarrant County, Texas, Zoned Agricultural (A) with an approximate address of 7112 N Day Miar Rd (On May 9, 2022, the Planning and Zoning Commission motion to approve failed by a vote of 4-4 resulting in a recommendation of denial)

#### **PLANNING AND ZONING FOR INDIVIDUAL CONSIDERATION**

- [22.](#) STP-22-03-0019 – Site Plan - GSW Townhomes (City Council District 2). Site Plan for a Townhome development with 95 units on 10 acres. Tract 3A, William Thompson Survey, Abstract No. 1558, City of Grand Prairie, Tarrant County, Texas, zoned Planned Development (PD-421), with an approximate address of 2801 South Great Southwest Parkway (On May 9, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0)
- [23.](#) STP-22-03-0015 - Site Plan - Tribeca Townhomes (City Council District 2). Site Plan for Tribeca Townhomes, a townhome development with 78 units on 9.17 acres. Tract 2.1, Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-422, within the SH 161 Corridor Overlay District, and generally located at the southwest corner of SH 161 and S Forum Dr (On May 23, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-1)

## PUBLIC HEARING ZONING APPLICATIONS

24. SUP-22-03-0017 - Specific Use Permit - Taco Bell at Green Oaks (City Council District 1). Specific Use Permit for a Restaurant with a Drive Through and a Site Plan Amendment to authorize an additional drive-through lane and reconfiguration of parking for an existing Restaurant. Lot 3A2, Block A, JJ Goodwin Addition, City of Grand Prairie, Tarrant County, Texas, zoned LI District, within SH 360 Corridor Overlay District, addressed as 2815 Green Oaks Blvd (On May 9, 2022, The Planning and Zoning Commission recommended approval by vote of 8-0)
25. SUP-22-03-0016 - Specific Use Permit/Site Plan – Grand Central Crossing Multi-Tenant Development with a Drive Through Bank (City Council District 2). Specific Use Permit/Site Plan for Lot 1R of Grand Central Crossing, including a multi-tenant building with a drive-through bank on 1.518 acres. Lot 1R, Block A, Grand Central Crossing Addition, City of Grand Prairie, Dallas County, Texas, zoned PD-273A, within the SH-161 Corridor Overlay District, and addressed as 2810 S HWY 161 (On May 9, 2022, the Planning and Zoning Commission recommended approval by a vote of 8-0)
26. ZON-22-03-0008 - Zoning Change/Concept Plan - 1305 Seeton Rd (City Council District 6). Zoning Change from Agriculture to a Planned Development District for Single Family Use and a Concept Plan depicting 38 detached units on 9.010 acres. Lot 1, Block 1 Gateway Church Addition, City of Grand Prairie, Dallas County, Texas, zoned Agriculture (A), within the Lake Ridge Corridor Overlay district, with an approximate address of 1305 E Seeton Rd (On May 9, 2022, the Planning and Zoning Commission recommended approval by a vote of 8-0)
27. ZON-22-03-0006 - Zoning Change/Concept Plan - Entertainment Planned Development District (City Council District 1). Zoning Change from PD-207, PD-217, PD-236A, PD-236B, Light Industrial (LI) District to a Planned Development District for the Entertainment District and a Concept Plan on approximately 1,001.7 acres. Lot 1, Block 1, Tourist Center Addition, Lots 1-3, Block 1&2, Lone Star Park Addition, Lot 1, Block 8, Midpointe Addition, Phase 1, Midpointe, Tract 14, 14.2, 14.3, Israel Jennings Survey, Abstract No. 679, Tract 1.1, 1.2, 1.21, 1.22, 1.23, 1.24, 1.25, 1.26, 1.27, 1.4, 1.5, 1.6, 1.7, 1.8 John C. Read Survey, Abstract No. 1184, Tract 2, 7.3, 7.4, 7.5, 12, 21, 22, 23, 24, 24.2, 24.3, 24.4, 24.5, 25, Perry Linney Survey, Abstract No. 778, Tract 24 Joseph Graham Survey, Abstract No. 506, Tract 3.2, 3.3, 3.4, 3.5, 3.6, 3.7, 3.8, 3.9, Richard Wilson Survey, Abstract No. 1548, City of Grand Prairie, Dallas County, Texas, zoned PD-207, PD-217, PD-236A, PD-236B, Light Industrial (LI) District, within the Belt Line and IH-30 Overlay Corridor Districts and generally located north of IH-30 and east of N Belt Line Road (On May 9, 2022, the Planning and Zoning Commission recommended approval by a vote of 8-0).

## CITIZEN COMMENTS

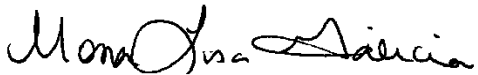
*Citizens may speak during Citizen Comments for up to five minutes on any item not on the agenda by completing and submitting a speaker card.*

## ADJOURNMENT

For those who wish to submit a presentation to the City Council for consideration, please submit those to [GPCitySecretary@gptx.org](mailto:GPCitySecretary@gptx.org) no later than 3:00 p.m. on the day of the meeting, or you may bring paper copies of your presentation and submit along with your completed speaker card to the clerk's desk at the time of your arrival.

### *Certification*

*In accordance with Chapter 551, Subchapter C of the Government Code, V.T.C.A, the City Council meeting agenda was prepared and posted June 3, 2022.*



*Mona Lisa Galicia, City Secretary*

*The Grand Prairie City Hall is accessible to people with disabilities. If you need assistance in participating in this meeting due to a disability as defined under the ADA, please call 972-237-8035 or email [GPCitySecretary@gptx.org](mailto:GPCitySecretary@gptx.org) at least three (3) business days prior to the scheduled meeting to request an accommodation.*



**CITY OF GRAND PRAIRIE  
COMMUNICATION**

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**MEETING DATE:** 06/07/2022  
**REQUESTER:** Amy Sprinkles  
**PRESENTER:** Amy Sprinkles, Marketing Director  
**TITLE:** Live Life Grand Campaign  
**RECOMMENDED ACTION:** None

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**ANALYSIS:**  
Briefing Presentation on Live Life Grand Ad Campaign

**FINANCIAL CONSIDERATION:**  
none



**CITY OF GRAND PRAIRIE  
COMMUNICATION**

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**MEETING DATE:** 05/17/2022  
**REQUESTER:** Amy Sprinkles  
**PRESENTER:** Sara Dedeluk, Tourism Supervisor  
**TITLE:** Tourism Travel Shows and Local Familiarization Tour  
**RECOMMENDED ACTION:** None

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**ANALYSIS:**  
Recap of Q1 Travel Show and Fam Tours efforts



**CITY OF GRAND PRAIRIE  
COMMUNICATION**

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**MEETING DATE:** 06/07/2022  
**REQUESTER:** Amy Sprinkles  
**PRESENTER:** Amy Sprinkles, Director  
**TITLE:** Summer Reading Club Kick Off  
**RECOMMENDED ACTION:** Presentation

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**ANALYSIS:**  
Presentation of Summer Reading Club Kick off

**FINANCIAL CONSIDERATION:**  
none





**CITY OF GRAND PRAIRIE  
COMMUNICATION**

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**MEETING DATE:** 06/07/2022

**REQUESTER:** Duane Strawn, Director of Parks, Arts & Recreation

**PRESENTER:** Duane Strawn, Director of Parks, Arts & Recreation

**TITLE:** Parks, Arts & Recreation 2021 Annual Report

**RECOMMENDED ACTION:** None

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**ANALYSIS:**

Presentation on the Parks, Arts & Recreation 2021 Annual Report

**FINANCIAL CONSIDERATION:**

None – Presentation Only



**CITY OF GRAND PRAIRIE  
COMMUNICATION**

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**MEETING DATE:** 06/07/2022

**REQUESTER:** Mona Lisa Galicia

**PRESENTER:** Mayor Ron Jensen

**TITLE:** Proclamation Acknowledging Juneteenth

**RECOMMENDED ACTION:** None

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# Proclamation

*WHEREAS, President Abraham Lincoln signed the Emancipation Proclamation on January 1, 1863; and,*

*WHEREAS, it was two years later when the slaves in Texas received word they had been freed; and*

*WHEREAS, on June 19, 1865, Union General Gordon Granger read the proclamation in Galveston, thus belatedly bringing about the freedom of 250,000 slaves in Texas; and*

*WHEREAS, Governor William Clements signed Juneteenth into law as a state holiday in 1979; and*

*WHEREAS, the City of Grand Prairie will be celebrating the 157th Anniversary of this holiday and the 34th year of a formal celebration of Juneteenth, beginning on June 17, 2022, with an evening event at Dalworth Recreation Center and continuing on June 18, 2022, with a parade from the City Hall Plaza to Tyre Park.*

*NOW, THEREFORE, I, Mayor Ron Jensen, on behalf of the City Council, do hereby proclaim June 19, 2022 as*

## **JUNETEENTH DAY**

*in our city. I hereby urge all residents to recognize this day as an opportunity to recall the milestone in human rights which this day represents.*

*WITNESS MY HAND AND THE SEAL OF THE CITY OF GRAND PRAIRIE, TEXAS, ON THIS 7<sup>th</sup> DAY OF JUNE 2022.*

*Jorja Clemson  
Council Member District 1*

*Ron Jensen  
Mayor*



**CITY OF GRAND PRAIRIE  
COMMUNICATION**

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**MEETING DATE:** 06/07/2022

**REQUESTER:** Mona Lisa Galicia

**PRESENTER:** Mona Lisa Galicia, City Secretary

**TITLE:** Minutes of the May 17, 2022, City Council Meeting

**RECOMMENDED ACTION:** Approve

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# CITY OF GRAND PRAIRIE

City Hall  
300 W. Main Street  
Grand Prairie, Texas

## MINUTES

### City Council Meeting

Tuesday, May 17, 2022

4:30 PM

City Hall - Briefing Room

#### CALL TO ORDER

*Mayor Jensen called the meeting to order at 5:40 p.m.*

#### PRESENT

*Mayor Ron Jensen*

*Mayor Pro Tem Mike Del Bosque*

*Deputy Mayor Pro Tem Cole Humphreys*

*Council Member District 1 Jorja Clemson*

*Council Member At Large Place 7 Jeff Copeland*

*Council Member At Large Place 8 Junior Ezeonu*

*Council Member District 6 Kurt Johnson*

*Council Member District 2 Dennis King*

*Council Member District 4 John Lopez*

*Council Member Elect Jacquin Headen*

#### STAFF PRESENTATIONS

##### 1. Short Term Rental Ordinance Amendment

*Assistant City Manager / City Attorney Megan Mahan discussed short term rentals, reviewed the current ordinance and discussed a survey conducted of other cities' regulations, noting those who are currently involved in lawsuits. Ms. Mahan reviewed building and fire code guidelines and said the desire is to increase ordinance enforcement and make changes to permit requirements. Mayor Jensen said he would like to see a partnership with the registrants. City Manager Steve Dye said the property would have an initial inspection; and if an officer goes out for enforcement, there may be subsequent action. Council Member Johnson asked if an annual inspection would be required, and Ms. Mahan confirmed. Ms. Mahan said five hundred eleven locations are currently registered, and those would be switching to a permit. Council Member Copeland asked if citations could be issued to those property owners who advertise without a permit. Ms. Mahan said failure to register citations can be written daily, and this ordinance asks owners to conduct this business more responsibly. Council Member Lopez said he is not a fan of annual inspections and suggested an online tool for citizens to locate where the registered short term rentals are located. Council Member Copeland asked how the city would find the non-responding short term rentals and fining them. He also said he would like them to be issued a citations. Chief Scesney said a stricter ordinance will help the responding officer and assist in finding who owns the property for issuance of a fine. Council Member Lopez inquired about parking, and Ms. Mahan said no offsite parking nor street parking would be allowed. Chief Scesney discussed parking enforcement and scenarios.*

*Council Member Clemson said event centers have guidelines and wanted to know if there would be similar guidelines for short term rental properties. Ms. Mahan said it is a freedom of assembly issue. Council Member Copeland noted hotels have set rules where short term rentals do not. Mayor Jensen asked staff to review collecting Hotel Occupancy Tax. Ms. Mahan said the city would have to agree not to enforce some of these regulations.*

### **Presented**

2. Historical Neighborhood Sign Policy

### **Not Presented**

## **AGENDA REVIEW**

*Mayor Pro Tem Del Bosque asked if Council had any questions regarding the agenda. Deputy Mayor Pro Tem Humphreys and Council Member Ezeonu asked for clarification of item fourteen. City Manager Dye provided details and said this would remove direct liability from the city and noted Grand Prairie United Charities (GPUC) would receive five percent for their staff time. Council Member Ezeonu asked if GPUC worked with the Grand Prairie Homeless Outreach Organization (GPHOO) during the pandemic and Mr. Dye confirmed. Council Member Clemson ask if the city is aware of the needs of the GPHOO. Mr. Dye confirmed and said City Attorney/Assistant City Manager Megan Mahan serves on the GPUC Board and is monitoring those needs. Council Member Clemson asked for clarification of item twenty-three. Parks and Recreation Department Director Duane Strawn provided an update on construction explaining Union Pacific Rail Road has delayed things a bit. Council Member Lopez asked if funds through the program would be available for non-residents. Mr. Dye explained the American Rescue Plan Act funds are not governed by any federal stipulations regarding recipients.*

## **EXECUTIVE SESSION**

*Mayor Jensen called a closed session at 5:18 p.m. pursuant to Chapter 551, Subchapter D of the Government Code, V.T.C.A., to discuss Section 551.071 "Consultation with Attorney," Section 551.074 "Personnel Matters" - City Manager's Contract and Section 551.087 "Deliberations Regarding Economic Development Negotiations."*

## **RECESS MEETING**

*Mayor Jensen adjourned the closed session, reconvened the regular meeting and called a recess at 6:17 p.m.*

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### **6:30 PM Council Chambers**

## **RECONVENE MEETING**

*Mayor Jensen reconvened the regular meeting at 6:32 p.m.*

**Invocation led by Pastor Carlos Pasillas of Grand Prairie Seventh Day Adventist Church.**

**Pledge of Allegiance to the US Flag and Texas Flag led by Council Member Ezeonu.**

3. Resolution Canvassing and Declaring the Results of the May 7, 2022, Joint General Election

*Mayor Pro Tem Del Bosque moved, seconded by Deputy Mayor Pro Tem Humphreys, to approve the resolution. The motion carried unanimously.*

**Adopted**

**RES 5264-2022**

4. Council Member King's Comments on Serving as District Two Councilman

*Council Member King congratulated newly elected Council Member Jacquin Headen. He read Psalm 118 from the bible and thanked the Lord as every day serving the city has been a blessing. Council Member King said he rejoices even though he is sad to be stepping down because he was blessed to have this position thirteen months, and said he is at peace. He thanked staff who he looks to as family, and he thanked everyone seated at the dais, noting they all worked together so well, sometimes agreeing to disagree.*

**Presented**

5. Certificate of Election and Oath of Office of the Mayor

*Ms. Mahan read the oath and Mayor Jensen accepted noting he is honored to serve with this group and thanked his wife, Rebecca Jensen. City Secretary Mona Lisa Galicia presented the certificate of election.*

**Presented and Accepted**

6. Council Member District Two Certificate of Election and Oath of Office

*Ms. Mahan read the oath and Ms. Headen accepted, then thanked the citizens she met and those who supported her. Council Member Headen said she has been warmly welcomed by city staff, and indicated she would lean on the Lord to help her serve the people of Grand Prairie. Ms. Galicia presented the certificate of election.*

**Presented and Accepted**

7. Council Member District Four Certificate of Election and Oath of Office

*Ms. Mahan read the oath and Council Member Lopez accepted. He said it is a blessing to serve then thanked his family for their tremendous support. Council Member Lopez said in his first term he has met priorities set to involve residents more and to steer the right building projects into the city. He thanked city staff, Mayor Jensen, Council and community members. Ms. Galicia presented the certificate of election.*

**Presented and Accepted**

8. Council Member Comments Regarding May 7, 2022, Joint General Election

*There were no comments.*

## PRESENTATIONS

### 8. Flood Awareness Week Proclamation

*Mayor Pro Tem Del Bosque read the proclamation and Mayor Jensen presented it to Public Works Director Gabe Johnson and Public Works Manager Barry Fulfer. Mr. Johnson said they are now working on being a Class Four Community.*

#### **Presented**

### 9. Proclamation Recognizing National Correctional Officers Week

*Council Member Clemson read the proclamation and Mayor Jensen presented it to Chief Scesney and several Grand Prairie Correctional Officers.*

#### **Presented**

## CONSENT AGENDA

*Mayor Pro Tem Del Bosque moved, seconded by Deputy Mayor Pro Tem Humphreys, to table item fifteen, and approve items eleven through fourteen and sixteen through thirty-five. The motion carried unanimously.*

### 11. Minutes of the May 3, 2022, City Council Meeting

#### **Approved on Consent Agenda**

12. Professional Services Agreement Renewal #2 with Focused Advocacy, LLC, for Legislative & Regulatory Services for a two year term, at an estimated annual cost of \$104,196.00 and a total of \$208,392.00 over the term of the agreement. Authorize the City Manager to execute any additional renewal options with aggregate price fluctuations of \$50,000 so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms

#### **Approved on Consent Agenda**

13. Development Agreement with MVRGP OPCO, LLC for Glamping Resort at Loyd Park (The Finance and Government Committee reviewed on 04/05/2022)

#### **Approved on Consent Agenda**

14. Contract with Grand Prairie United Charities for \$100,000 for a One Year Term to Administer Program for Hotel Nights for the Homeless Population for Inclement Weather or Emergency Situations

#### **Approved on Consent Agenda**



15. Price Agreement for janitorial services from UBM Enterprise, Inc. (up to \$915,439.96 annually). This agreement will be for one year with the option to renew for (4) four additional one-year periods totaling \$4,577,199.80 if all extensions are exercised. Authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms

**Tabled**

16. Assignment of Contract(s) for Fire Alarm Services from LPS Fire, LLC to Pye Barker Fire & Safety in the amount of \$209,500.00

**Approved on Consent Agenda**

17. Price Agreement for products and services for cybersecurity services to include Endpoint protection software and incident response services from SHI Government Solutions, Inc. through a national inter-local agreement with DIR-TSO-4317 at an estimated annual cost of 154,194.00. This agreement will be for one year with the option to renew for an additional four one-year period totaling \$770,970.00 if all extensions are exercised. Authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms

**Approved on Consent Agenda**

18. Price agreement for email protection services from Solid Border, Inc. through a national inter-local agreement with the Department of Information Resources (DIR) at an estimated annual cost of \$122,976.00. This agreement will be for one year with the option to renew for four additional one-year periods totaling \$614,880.00 if all extensions are exercised. Authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms

**Approved on Consent Agenda**

19. Contract Amendment No. 1 to Halff Associates, Inc. to the Professional Engineering Services contract for additional survey services, preparation of construction plans for the selected drainage option and construction phase services on the Miscellaneous Drainage Projects between Tanbark Court and Sequoia Drive in the amount of \$50,178 (The Finance and Government Committee reviewed on 05/03/2022)

**Approved on Consent Agenda**

20. Purchase of two (2) new Chevrolet Tahoe 4x4's for Police and Fire (\$50,780 each), one (1) new Chevrolet 1500 regular cab pickup for Solid Waste (\$38,315), and one (1) new Chevrolet 1500 double cab pickup for Planning & Development (\$39,530) from Caldwell Country Chevrolet for a combined total of \$179,405 through a Cooperative Agreement with BuyBoard

**Approved on Consent Agenda**

21. Construction Manager at Risk (CMAR) contract with Dean Electric, Inc. dba Dean Construction for pre-construction management services for the Tyre Park Improvements Phase 1 in the amount of \$0 and approve a construction service fee of 3.5% to be applied at a later time to the actual approved construction costs for the work (The Finance and Government Committee reviewed on 05/03/2022)

**Approved on Consent Agenda**

22. Professional services contract with Parkhill/Shrickel Rollins, Inc. in the amount of \$246,500 and approve a 5% contingency of \$12,325 for a total cost of \$258,825 for Phase 1 construction documentation and construction administration services for Tyre Park (The Finance and Government Committee reviewed on 05/03/2022)

**Approved on Consent Agenda**

23. Change Order No. 4 for the Great Southwest Nature Park with William H. Company LLC in the amount of \$85,142.68 for labor/equipment/fuel/insurance cost increases for the remaining work to be completed as well as material cost increases, including concrete, rebar, lumber, trucking, and fuel relating from work stoppage/delays/ access restrictions and resequencing or work due to Union Pacific Railroad change order logistical demands (The Finance and Government Committee reviewed on 05/03/2022)

**Approved on Consent Agenda**

24. Price Agreement for EpicCentral marketing plan and advertising from Pyro Brand Development LLC. The initial agreement, in the amount of \$1,500,000, will contain the initial one-year term plus a five-month extension to allow fiscal year alignment; and includes the option to renew for three (3) additional one-year periods totaling \$6,000,000 if all extensions are exercised. Authorize the City Manager to execute the renewal options with aggregate price fluctuations of \$50,000 so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms (The Finance and Government Committee reviewed on 05/03/2022)

*Harold Willis, 538 Lindly, spoke in opposition of this item. Deputy City Manager Cheryl De Leon said this is a price agreement to market and develop the Epic Central space.*

**Approved on Consent Agenda**

25. Resolution ratifying the application for and authorizing the acceptance of the FY2021 Urban Area Security Initiative (UASI) Grant for Police Capability Enhancement from the Office of the Governor – Homeland Security Grants Division in the anticipated amount of \$75,220.54 and authorizing the City Manager or his designee to execute the sub-recipient agreement and other grant related documents

**Adopted**

**RES 5265-2022**

26. Resolution ratifying the application for and authorizing the acceptance of the Local Hazard Mitigation Plans Program (LHMPP) Grant from the Texas General Land Office Community Development and Revitalization Department in the anticipated amount of \$48,235.42 and authorizing the City Manager or designee to execute the sub-recipient agreement and other grant related documents

**Adopted****RES 5266-2022**

27. Resolution ratifying the application for and authorizing the acceptance of the FY2022 Urban Area Security Initiative (UASI) Grant from the Office of the Governor – Homeland Security Grants Division in the estimated amount of \$145,352 and authorizing the City manager or his designee to execute the sub-recipient agreement and other grant related documents

**Adopted****RES 5267-2022**

28. Resolution authorizing the City Manager to apply for and accept a Selective Traffic Enforcement Program (STEP) Commercial Vehicle Enforcement grant from the Texas Department of Transportation (TXDOT), in the amount of \$51,195.03 (The Public Safety, Health and Environment Committee reviewed on 05/02/2022)

*Harold Willis, 538 Lindly, spoke in opposition of this item and of item twenty-nine, requesting not to use these programs on Highway 161.*

**Adopted****RES 5268-2022**

29. Resolution authorizing the City Manager to apply for and accept a Selective Traffic Enforcement Program (STEP) grant from the Texas Department of Transportation (TXDOT) for the enforcement of safety belt, child safety seat, speed, intersection traffic control, distracted driving and DWI laws in the amount of \$279,887.13 (The Public Safety, Health and Environment Committee reviewed on 05/02/2022)

**Adopted****RES 5269-2022**

30. Resolution authorizing amendment of the Municipal Maintenance Agreement between the City of Grand Prairie and the State of Texas Department of Transportation, providing for City to maintain the mural and landscaping around IH-30 at Beltline

**Adopted**

**RES 5270-2022**

31. Resolution authorizing execution of a Landscape Maintenance Agreement with the Texas Department of Transportation in connection with 2020 Governor's Community Achievement Award beatification project in the area at Beltline Road and IH30

**Adopted****RES 5271-2022**

32. Ordinance amending the FY2021/2022 Capital Improvement Projects Budget; Amendment No. 1 with Halff Associates, Inc. to provide professional services for the IH-30 Corridor Beautification in the amount of \$88,000 (The Finance and Government Committee reviewed on 05/03/2022)

**Adopted****ORD 11204-2022**

33. Ordinance adopting the Housing Administration (Fund 3001) and Housing Choice Voucher (Fund 3002) operating budgets for calendar year 2022 and Fiscal year 2021-2022. This budget includes the addition of 1 (one) Housing Enforcement Office Assistant Position and 2 (two) Housing Enforcement Officer Positions in response to the exceptional increase in inspections related to Chapter 28 of the City's Multi-Family Code. Additionally, allocating, approving, and authorizing the expenditure of \$102,660.70 for the purchase of (3) three new vehicles from Caldwell Country Chevrolet (The Finance and Government Committee reviewed on 05/03/2022)

**Adopted****ORD 11205-2022**

34. Ordinance amending the FY21-22 Capital Improvement Project Budget; Construction Contract with Thatch Engineering in the amount of \$193,054; Budget Allowance of \$15,000 for new building signage and \$20,000 for material cost escalation, with a Construction Contingency of \$11,400 (5%); total funding request in the amount of \$239,454 for exterior façade waterproofing and aesthetic enhancements to the Housing and Municipal Court buildings associated with the City Hall campus (The Finance and Government Committee reviewed on 05/03/2022)

**Adopted****ORD 11206-2022**

35. Ordinance amending the FY 2021/2022 Capital Improvement Projects Budget: Contract with SpawGlass in the amount of \$165,989.29 and approve a 5% contingency of \$8,299.46 for a total cost of \$174,288.75 for the Summit soffit repair through a cooperative agreement with Buyboard (The Finance and Government Committee reviewed on 05/03/2022)

**Adopted****ORD 11208-2022****ITEMS FOR INDIVIDUAL CONSIDERATION**

36. An Ordinance Amending Chapter 29 “Code Compliance” of the Code of Ordinances of the City of Grand Prairie, Texas, by amending Article IX, “Short Term Residential Rentals”; providing a savings and severability clause; a cumulative clause; a penalty clause; and providing for an effective date from and after its approval and publication

*Ms. Mahan noted this amendment would change registration to a permitting process. She said council reviewed during briefing earlier and revised the permit fee to four-hundred eighty dollars, which would better reflect staff time, and shortened the period provided for current registrants to obtain permits to sixty days instead of ninety days as proposed. Mayor Pro Tem Del Bosque moved, seconded by Council Member Johnson, to approve with changes to a four-hundred eighty dollar fee and a sixty day period for registration. Council Member Lopez said a problem exists due to some “bad apples”, but not all short term rentals are problems and do serve a purpose. He noted there are some gaps to be revisited before he can fully support it as he is not against oversight, but there are too many unanswered questions for him. Motion to approve made by Mayor Pro Tem Del Bosque, Seconded by Council Member District 6 Johnson.*

*Voting Yea: Mayor Jensen, Mayor Pro Tem Del Bosque, Deputy Mayor Pro Tem Humphreys, Council Member District 1 Clemson, Council Member At Large Place 7 Copeland, Council Member At Large Place 8 Ezeonu, Council Member District 6 Johnson*

*Voting Nay: Council Member District 4 Lopez*

**Adopted****ORD 11207-2022****PLANNING AND ZONING ITEMS TO BE TABLED**

*Mayor Pro Tem Del Bosque moved, seconded by Deputy Mayor Pro Tem Humphreys to table items thirty-seven through thirty-nine. The motion carried unanimously.*

37. STP-22-03-0015 - Site Plan - Tribeca Townhomes (City Council District 2). Site Plan for Tribeca Townhomes, a townhome development with 78 units on 9.17 acres. Tract 2.1, Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-422, within the SH 161 Corridor Overlay District, and generally located at the southwest corner of SH 161 and S Forum Dr

**Tabled**

38. SUP-22-02-0008 - Specific Use Permit – Child Day Care Facility at 2040 N SH 360 (City Council District 1). Specific Use Permit for Child Day Care Facility on 0.57 acres. Site 11, Lot 1, Block 1, GSID, COMM #5, Installation #3, City of Grand Prairie, Tarrant County, Texas, and addressed as 2040 N HWY 360

**Tabled**

39. ZON-22-03-0007 – Zoning Change/Concept Plan – Jefferson at Loyd Park (City Council District 4). Zoning Change from Agriculture to a Planned Development District for two Multi-Family tracts with 900 units along with 122 townhome lots on 58.38 acres. Multiple parcels within the Ralph Graves Survey, Abstract 569, City of Grand Prairie, Tarrant County, Texas, Zoned Agricultural (A) with an approximate address of 7112 N Day Miar Rd

**Tabled****PUBLIC HEARING ZONING APPLICATIONS**

40. ZON-21-12-0016 – Zoning Change/Concept Plan – Haven at Loyd Park (City Council District 4). Zoning Change from Agriculture to a Planned Development District for Multi-Family Use and a Concept Plan depicting 242 multi-family units on 9.36 acres. Tract 6D03, J. C. Armstrong Survey, Abstract 43, City of Grand Prairie, Tarrant County, Texas, Zoned Agricultural (A) with an approximate address of 961 N Day Miar Rd (On March 14, 2021, the Planning and Zoning Commission recommended approval by a vote of 5-0)

*Chief City Planner Savannah Ware reviewed existing zoning and the Future Land Use Map (FLUM). She displayed the concept plan and proposed planned development which has no requested variances. Ms. Ware said the plan meets parking requirements, and she reviewed various amenities and conceptual elevations. She said the Planning and Zoning Commission (P&Z) recommended approval, and the Development Review Committee (DRC) has no objections but recommends the applicant obtain an access easement from the property to the west prior to approval of the site plan. Council Member Lopez asked if the other project is denied, how it would effect access. Ms. Ware said the secondary access is not a fire access concern. Council Member Copeland asked if this is a different owner than for the property to the south, and Ms. Ware confirmed. Council Member Copeland asked if this development is dependent on the Day Miar development to the south. Transportation Director Walter Shumac said the road is not in great condition, but the road has physical access and can be driven. Council Member Lopez asked if there is an agreement between this property owner and the property owner to the south. Phillip Graham and Mr. David, 2201 E Lamar Blvd, Arlington, spoke in support. Mr. David said they will work with the adjacent landowner. Council Member Copeland asked if they would build Prairie Waters to their property and the other owner build the rest of the road. Mr. David said he is willing to share the cost. Planning Director Rashad Jackson said it is typically done in a proportional manner and noted a condition may be placed that he shall participate in the cost or construction of Day Miar. Mayor Jensen told staff that Council wants Day Miar built before either developer receives a certificate of occupancy. Council Member Lopez said during the P&Z and DRC meetings, the cost of the road was brought to their attention and said they want a walking trail from these units to the commercial area to connect to the retail and restaurants. Mr. David said he is okay with it. Council Member Ezeonu asked to review their unit prices. Mr. David said two dollars per square foot with units between six hundred and twelve hundred square feet. Council Member Copeland thanked them for coming to town and thanked their design team, then noted this is good use. Council Member Lopez moved, seconded by Council Member Clemson, to close the public hearing and approve with the amendment that they take on a fair*

percent of the road buildout and work with the property owner to the south, and that Certificates of Occupancy would not be issued until Day Miar Road is built. Council Member Ezeonu asked if staff can have oversight. Mr. Jackson said it is a private legal matter not in the city's control. The motion carried unanimously.

### **Adopted**

#### **ORD 11209-2022**

41. SUP-22-03-0015 - Specific Use Permit Review - Special Event Center at 503 W Church St (City Council District 5). Review SUP No. 879, a Specific Use Permit for a Special Event Center, for compliance with SUP conditions, and modify, renew, or revoke if deemed appropriate based upon the review. Lot 1, Block C, Chase, City of Grand Prairie, Dallas County, Texas, zoned GR-1, within CBD No. 2, and addressed as 503 W Church St (On April 25, 2022, the Planning and Zoning Commission recommended to revoke by a vote of 8-0)

*Ms. Ware reviewed compliance requirements and history. She said the Grand Prairie Police Department asked for review of the of the specific use permit due to disorderly conduct. Ms. Ware reviewed information regarding police calls for service in 2018, 2020, multiple incidents in 2021 and two calls for service on March 18, 2022. She said P&Z voted to revoke the permit, and staff recommends revocation due to not complying with conditions of operating hours and receipt of substantiated complaints regarding disorderly conduct. Council Member Johnson asked if the 1:00 a.m. closing time is correct. Mr. Jackson said they have their own ordinance dated 2011 allowing for that closing time. Council Member Lopez asked if the current operator knew about the specific use permit. Ms. Ware confirmed the property owner operates the center now. Council Member Ezeonu asked why this took permit took so long for review. Ms. Ware noted the language was not in the ordinance prepared back then. Council Member Clemson asked if there are others that have similar circumstances. Ms. Ware said there are others that have rules which were set back when their centers were approved. Mayor Jensen confirmed no speakers were signed up to speak. Attorney Carlos Castro did not submit a speaker card but requested to speak on behalf of the owner, and Mayor Jensen confirmed. Mr. Castro said no one was cited for the incidents discussed and said there has not been an opportunity to remediate. He also said the operator has contracts in place for the center for the next three to four months. Deputy Mayor Pro Tem Humphreys said it weighs on him to put someone out of business. He then moved, seconded by Council Member Copeland, to close the public hearing and revoke the specific use permit. The motion carried unanimously.*

### **Revoked**

#### **ORD 11211-2022**

42. VCC-22-03-0001 – Unified Signage Plan – Traders Village (City Council District 2). Unified Signage Plan for three signs exceeding the maximum area, width, and height permitted for monument signs and allowable area for electronic messaging centers (EMCs) permitted for each monument sign. Tract 1A, William J Whiting Survey, Abstract No. 1614, City of Grand Prairie, Tarrant County, Texas, zoned LI, and addressed as 2602 Mayfield Road (On April 25, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-1)

*Ms. Ware reviewed the unified signage plan for three proposed monument signs and noted there were seven requested variances. She said the Planning and Zoning Commission recommended approval, but staff cannot approve given the number of variances as they believe the applicant can modify the design of signs to reduce the number of variances. Council Member Clemson asked if staff recommendations were discussed, and Ms. Ware confirmed noting the applicant did not make modifications. Mayor Jensen said there were no registered speakers on this item. Council Member Headen moved, seconded by Council Member Johnson, to close public hearing and approve the item. The motion carried unanimously.*

### **Approved**

43. ZON-21-12-0016 – Zoning Change/Concept Plan – Lapiz Flats (City Council District 1). Zoning Change from a Planned Development District for General Retail to a Planned Development District for Multi-Family Use and a Concept Plan for 69 multi-family units on 2.391 acres. John W Farrens Survey, Abstract 545, City of Grand Prairie, Tarrant County, Texas, zoned PD-118, and with an approximate address of 1410, 1420, and 1430 Duncan Perry Rd (On April 25, 2022, The Planning and Zoning Commission recommended approval by a vote of 8-0)

*Ms. Ware reviewed the concept plan, proposed standards, various amenities and conceptual building elevations. She advised no variances were requested and said the Planning and Zoning Commission recommended approval and the Development Review Committee does not have objections. Speaker Megan Lasch, 5561-A, Austin, Texas, spoke in support of this item and confirmed this is age restricted housing. She reviewed the proposed site plan meeting parking requirements, displayed photos of development samples which are actual properties in the Dallas/Fort Worth area and noted they will have resident support services onsite. Council Member Ezeonu asked if affordable housing is based on income. She said the bulk will be affordability and ten percent would be market rated. Council Member Johnson asked how long they manage their property. Ms. Lasch said approximately fifteen years and stated that she puts up a personal guarantee for their properties. She added the minimum age of residents is fifty-five, but they see mostly sixty-eight to seventy year-old residents. Council Member Copeland asked if these are in their affordable tax credit projects, and she confirmed. Deputy Mayor Pro Tem Humphreys said some similar type housing are currently below the fifty percent occupancy rate. Ms. Lasch said the demand is high and foreclosure is very low because of the restrictions and inspection. Deputy City Manager Bill Hills noted the tax credit stays with the property for fifteen years and said these are fully equipped properties. Mr. Hills said those properties with cafeteria style feeding are struggling. Council Member Headen inquired about the public art. Ms. Lasch said somewhere along Duncan Perry Road or at the entry way to the property, they will likely have art in a location that is public facing. Council Member Clemson said this particular project is surrounded by apartments and near Fire Station Four, and noted it aligns with the FLUM. She also likes the green scape and art, and indicated it is the highest and best use of this property. Council Member Clemson moved, seconded by Deputy Mayor Pro Tem Humphreys, to close the public hearing and approve with the addition of a piece of public art. The motion carried unanimously.*

### **Adopted**



**ORD 11210-2022****CITIZEN COMMENTS**

*Deloris Phillips, P.O. Box 530236, Grand Prairie, spoke of stray cats at Cottonwood Park Village. She asked for a pet friendly city. She also spoke of mail received at a different address.*

*Harold Willis, 538 Lindly, thanked council for acknowledgement of Correction Officer's Week. He noted Ms. Headen's election to Council shows strength in racial diversity.*

**ADJOURNMENT**

*Mayor Jensen adjourned the meeting at 8:22 p.m.*

*The foregoing minutes were approved at the June 7, 2022, City Council meeting.*

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*Mona Lisa Galicia, City Secretary*



**CITY OF GRAND PRAIRIE  
COMMUNICATION**

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**MEETING DATE:** 06/07/2022  
**REQUESTER:** Megan Mahan, City Attorney  
**PRESENTER:** Megan Mahan, City Attorney  
**TITLE:** City Manager Contract  
**RECOMMENDED ACTION:** Approve

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**ANALYSIS:**

As part of the City Manager’s annual review, the Manager’s contract was reviewed. The City wishes to amend the contract to increase the Manager’s salary by 3%.

**FINANCIAL CONSIDERATION:**

Salary is included in the General Fund Operating Budget.



**CITY OF GRAND PRAIRIE  
COMMUNICATION**

**MEETING DATE:** 06/07/2022

**REQUESTER:** Venona McGee

**PRESENTER:** Jayson Ramirez, Manager – Fleet Services

**TITLE:** Purchase of three passenger paratransit buses from Creative Bus Sales in the amount of \$428,028.00

**RECOMMENDED ACTION:** Approve

**ANALYSIS:**

The buses will be used in the Grand Connection Transit's Division Grand Connection. The transit vehicle replacements will be made through the Federal Elderly Individuals and Individuals with Disabilities Fiscal Year 2022 Project Grant Agreement and are reimbursed by the Federal Transit Authority (FTA).

Notice of bid #22033 was advertised in the Fort Worth Star-Telegram and Public Purchase; it was distributed to 40 vendors, including 4 Grand Prairie vendors and 11 HUBs. One bid was received, as shown on attachment A.

The award was based on best value criteria set up in the specification, including material markup, reputation, quality of service, price, past relationship with the city and other municipalities, if they were local, and other relevant criteria as listed in the specification.

The bid submitted by Creative Bus Sales, Inc. meets specifications and is recommended for award.


**FINANCIAL CONSIDERATION:**


1. \$344,639 is available in Grant Fund (300592), 680220022 (FY 19 Grand Connection Capital) 68320 and \$83,389 is available in 11522001 68320

PASSENGER PARATRANSIT BUSES

RFB #22033

TABULATION

		<b>Bid Tabulation</b> Three Paratransit Buses RFB #22033		Creative Buses Irving, TX	
Item	Description	QTY	UOM	Unit Price	Extended Price
1	Bus, 18 passenger / 5 wheelchair	3	EA	140,176.00	420,528.00
2	Extended Warranty for Bus - 5 Years/100,000 Miles (Optional)	3	EA	2,500.00	7,500.00
<b>Total</b>					<b>\$ 428,028.00</b>

		<b>Evaluation Score Card</b> Three Paratransit Buses RFB #22033		Creative Buses Irving, TX	
Evaluation Criteria	Maximum Score	Score			
Price	50.00	50.00			
The extent to which the busses meet the requirements of the Detailed Specification Form (provided in Excel file)	20.00	20.00			
Warranty	15.00	15.00			
Delivery Timeframe	15.00	15.00			
<b>Total</b>	<b>100.00</b>	<b>100.00</b>			



**CITY OF GRAND PRAIRIE  
COMMUNICATION**

**MEETING DATE:** 06/07/2022

**REQUESTER:** Barbara Sprinkle

**PRESENTER:** Angi Mize, Purchasing Manager

**TITLE:** Professional services agreements for psychological testing services with Altman Psychological Services, PLLC in the annual amount not to exceed \$20,000; and with Price, Proctor & Associates in the annual amount not to exceed \$20,000; and polygraph testing service with Behavioral Measures & Forensic Services in the annual amount not to exceed \$20,000. All agreements will be for one year with the option to renew for four additional one-year periods totaling a not to exceed amount of \$300,000 if all extensions are exercised. Authorize the City Manager to execute the renewal options with aggregate price fluctuations of \$5,000 so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms

**RECOMMENDED ACTION:** Approve

**ANALYSIS:**

Due to Texas Local Government Code, Chapter 143 concerning Civil Service requirements the Police Department and Fire Department frequently require psychological and polygraph testing services. The services are required and being performed for pre-employment applicant screenings, critical incident debriefings, and fitness for duty evaluations. Multiple testing professionals allow Police and Fire adequate resources to send their personnel for psychological and polygraph testing in a timely manner.

Local Government Code Chapter 252 provides an exception from the competitive bid process for a procurement for personal, professional, or planning services such as psychological and polygraph testing services. Altman Psychological Services, Price, Proctor, and Associates, and Behavioral Measures Forensic Services were all selected as the most qualified professionals due to their reputation for such services in the Dallas-Fort Worth metropolitan area.

**FINANCIAL CONSIDERATION:**

Funds are available in various departments operating budgets and will be charged accordingly on orders through the end of the fiscal year. Funding for future fiscal years will be paid from that year's approved budgets.



## CITY OF GRAND PRAIRIE COMMUNICATION

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**MEETING DATE:** 06/07/2022

**REQUESTER:** Venona McGee

**PRESENTER:** Doug Taylor, Director – Water Department

**TITLE:** Reject all Bids from RFB #22078 for Electrical Services

**RECOMMENDED ACTION:** Approve

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### ANALYSIS:

The Water Department requested bids to obtain an annual price agreement to purchase electrical maintenance, service upgrades, and additional services.

Notice of bid #22078 advertised in the Fort Worth Star-Telegram and Public Purchase; distributed to one hundred and sixty-three vendors, including one hundred and forty-six HUBs. One bid was received.

The department is rejecting the bid received as part of RFB #22078. They decided to utilize a contract that the Facility Services Department has.

### FINANCIAL CONSIDERATION:

No financial consideration



## CITY OF GRAND PRAIRIE COMMUNICATION

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**MEETING DATE:** 06/07/2022

**REQUESTER:** Venona McGee

**PRESENTER:** Angi Mize, Purchasing Manager

**TITLE:** Reject all bids from RFB #22034 for Janitorial Services

**RECOMMENDED ACTION:** Approve

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### ANALYSIS:

This agreement was for janitorial services for all city buildings.

Notice of bid 22034 was advertised in the Fort Worth Star Telegram and Public Purchase; it was distributed to 19 vendors including and 16 HUBs. There were no Grand Prairie vendors available. Seven bids were received as shown on attachment A.

We are rejecting of all bids to re-evaluate the criteria used to score each submittal. Also to evaluate if there is a need for multiple awards.

Staff is recommending the rejection of all bids received as part of RFB # 22034. These services will be rebid at a later date.


### FINANCIAL CONSIDERATION:

None

JANITORIAL SERVICES

RFB #22034

TABULATION

				<b>Bid Tabulation</b> Janitorial Services RFB #22034		UBM Interprise Dallas, TX		MaxPro Enterprise Cedar Hill, TX		Entrust Facility Services Halton, City	
Item	Description	QTY	UOM	Unit Price	Extended Price	Unit Price	Extended Price	Unit Price	Extended Price	Unit Price	Extended Price
1	Facility Services	1	EA	915,439.96	915,439.96	893,690.55	893,690.55	814,608.70	814,608.70		
2	Day Porter (per hour)	1	HR	22.50	22.50	19.25	19.25	17.00	17.00		
3	Night Shift Cleaner (per hour)	1	HR	18.50	18.50	19.25	19.25	17.00	17.00		
	<b>Total</b>				<b>\$ 915,480.96</b>		<b>\$ 893,729.05</b>		<b>\$ 814,642.70</b>		
				Eagle Maintenance Dallas, TX		Clean-Sweep Solutions Fairview, TX		Ambassador Service Houston, Tx		AHI Facility Services Dallas, TX	
Item	Description	QTY	UOM	Unit Price	Extended Price	Unit Price	Extended Price	Unit Price	Extended Price	Unit Price	Extended Price
1	Facility Services	1	EA	1,001,195.09	1,001,195.09	1,196,990.73	1,196,990.73	1,511,350.00	1,511,350.00	13,089,059.83	13,089,059.83
2	Day Porter (per hour)	1	HR	20.82	20.82	17.50	17.50	25.00	25.00	18.20	18.20
3	Night Shift Cleaner (per hour)	1	HR	17.19	17.19	18.50	18.50	28.00	28.00	23.80	23.80
	<b>Total</b>				<b>\$1,001,233.10</b>		<b>\$ 1,197,026.73</b>		<b>\$1,511,403.00</b>		<b>\$ 13,089,101.83</b>





**CITY OF GRAND PRAIRIE  
COMMUNICATION**

**MEETING DATE:** 06/07/2022

**REQUESTER:** Lee Harriss

**PRESENTER:** Lee Harriss, Special District Administrator

**TITLE:** Forum Estates PID Contract with Brick and Stone Master for Forum Drive Walls, Entry Monuments, and Planter Boxes in the amount of \$560,631 (Council District 2)

**RECOMMENDED ACTION:** Approve

**ANALYSIS:**

The PID Board recommended that Brick and Stone Master be awarded a contract for Forum Drive Walls, Entry Monuments, and Planter Boxes. The term extends from June 10, 2022 through May 31, 2023.

Texas Local Government Code, Chapter 252.022 (a) (9) exempts public improvement districts from competitive bidding requirements. Per that statute, the PID Advisory Board is empowered to enter into contracts such as the one with Brick and Stone Master following approval by the City Council.

**FINANCIAL CONSIDERATION:**

Funds for this contract are available from annual assessments adopted by the City Council on September 21, 2021, which are estimated to generate \$493,604 for the fiscal year.

**Exhibit A  
GRAND PRAIRIE PUBLIC IMPROVEMENT DISTRICT NO. 5  
Forum Estates  
Five Year Service Plan 2022 - 2026 BUDGET**

**Income based on Assessment Rate of \$0.12 per \$100 of appraised value.  
Service Plan projects a 1% increase in assessed value per year.**

<b>INCOME:</b>	Value	Assess Rate	Revenue			
<b>Appraised Value</b>	\$411,336,966	\$ 0.12	\$ 493,604			
<b>Description</b>	<b>Account</b>	<b>2022</b>	<b>2023</b>	<b>2024</b>	<b>2025</b>	<b>2026</b>
<b>Beginning Balance (Estimated)</b>		<b>\$ 821,000</b>	<b>\$ 990,303</b>	<b>\$ 1,171,791</b>	<b>\$ 1,355,615</b>	<b>\$ 1,548,075</b>
P.I.D. Assessment	42620	\$ 493,604	\$ 498,540	\$ 503,526	\$ 508,561	\$ 513,647
Devlpr Particip/Projects*	46110	3,000	3,000	3,000	3,000	3,000
City Contribution	49780	21,283	21,283	21,283	21,283	21,283
<b>TOTAL INCOME</b>		<b>\$ 517,887</b>	<b>\$ 522,823</b>	<b>\$ 527,809</b>	<b>\$ 532,844</b>	<b>\$ 537,930</b>
<b>Amount Available</b>		<b>\$ 1,338,887</b>	<b>\$ 1,513,126</b>	<b>\$ 1,699,600</b>	<b>\$ 1,888,460</b>	<b>\$ 2,086,005</b>

<b>EXPENSES:</b>		<b>2022</b>	<b>2023</b>	<b>2024</b>	<b>2025</b>	<b>2026</b>
<b>Description</b>						
Office Supplies	60020	\$ 100	\$ 100	\$ 100	\$ 100	\$ 100
Decorations	60132	17,500	17,500	17,500	17,500	17,500
Beautification	60490	50,000	50,000	50,000	50,000	50,000
Wall Maintenance	60776	20,000	15,000	15,000	15,000	15,000
Mowing Contractor	61225	101,647	101,647	101,647	101,647	101,647
Website	61315	350	350	350	350	350
Collection Service (\$2.90/Acct)	61380	4,388	4,388	4,388	4,388	4,388
Misc.	61485	2,000	2,000	2,000	2,000	2,000
Admin./Management	61510	10,800	10,800	10,800	10,800	10,800
Postage	61520	100	100	100	100	100
Electric Power	62030	2,800	2,800	2,800	2,800	2,800
Water Utility	62035	28,000	28,000	28,000	28,000	28,000
Irrigation System Maint.	63065	11,000	11,000	11,000	11,000	11,000
Roadway Markings/Signs Maint	63115	2,100	2,100	2,100	2,100	2,100
Decorative Lighting Maintenance	63146	8,000	8,000	8,000	8,000	8,000
Property Insurance Premium	64080	1,600	1,600	1,600	1,600	1,600
Liability Insurance Premium	64090	3,000	3,000	3,000	3,000	3,000
Fencing	68061	-	-	-	-	-
Row/Easement Title Purchase	68091	-	-	-	-	-
Int. Exp. Bonds	91070	10,200	7,950	5,600	2,000	-
Princl. Pmts. Bonds	95015	75,000	75,000	80,000	80,000	-
<b>TOTAL EXPENSES</b>		<b>\$ 348,585</b>	<b>\$ 341,335</b>	<b>\$ 343,985</b>	<b>\$ 340,385</b>	<b>\$ 258,385</b>
<b>Ending Balance**</b>		<b>\$ 990,303</b>	<b>\$ 1,171,791</b>	<b>\$ 1,355,615</b>	<b>\$ 1,548,075</b>	<b>\$ 1,827,620</b>

**Avg. Annual Assessment by Home Value:**

Value	Yrly Assmnt.	
\$50,000	\$ 60	
\$100,000	\$ 120	
\$150,000	\$ 180	
\$200,000	\$ 240	
\$250,000	\$ 300	
\$300,000	\$ 360	
\$350,000	\$ 420	
\$400,000	\$ 480	
		Avg. Property Value: \$ 271,868
		Avg. Property Assessment: \$ 326
		No. of Properties: 1,513

\*Reimbursement for additional holiday decorations.

\*\*Fence replacements



**CITY OF GRAND PRAIRIE  
COMMUNICATION**

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**MEETING DATE:** 6/7/2022

**REQUESTER:** Megan Mahan

**PRESENTER:** Megan Mahan, City Attorney

**TITLE:** Grand Prairie Hotel Development Corporation Director  
Removal/Appointment

**RECOMMENDED ACTION:** Approve

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**ANALYSIS:**

Jacquie Headen will be considered for appointment to the EpicCentral Hotel LGC to replace Dennis King on the Board of Directors.

**FINANCIAL CONSIDERATION:**

None.



**CITY OF GRAND PRAIRIE  
RESOLUTION**

**MEETING DATE:** 06/07/2022

**REQUESTER:** Megan Mahan

**PRESENTER:** Megan Mahan, City Attorney

**TITLE:** A Resolution Suspending the June 17, 2022 Effective Date of Oncor Electric Delivery Company's Rate Change To Permit the City Time to Study the Request and to Establish Reasonable Rates

**RECOMMENDED ACTION:** Approve

**ANALYSIS:**

**PURPOSE**

Oncor Electric Delivery Company ("Oncor" or "the Company") filed an application on or about May 13, 2022, with cities retaining original jurisdiction seeking to increase system-wide transmission and distribution rates by about \$251 million or approximately 4.5% over present revenues. The Company asks the City to approve an 11.2% increase in residential rates and a 1.6% increase in street lighting rates. If approved, a residential customer using 1,300 kWh per month would see a bill increase of about \$6.02 per month.

The resolution suspends the June 17, 2022 effective date of the Company's rate increase for the maximum period permitted by law to allow the City, working in conjunction with the Steering Committee of Cities Served by Oncor, to evaluate the filing, determine whether the filing complies with law, and if lawful, to determine what further strategy, including settlement, to pursue.

The law provides that a rate request made by an electric utility cannot become effective until at least 35 days following the filing of the application to change rates. The law permits the City to suspend

the rate change for 90 days after the date the rate change would otherwise be effective. **If the City fails to take some action regarding the filing before the effective date, Oncor's rate request is deemed administratively approved.**

### **DISCUSSION**

The City of Grand Prairie, Texas is a member of a 169-city coalition known as the Steering Committee of Cities Served by Oncor ("Steering Committee"). The Steering Committee has been in existence since the late 1980s. It took on a formal structure in the early 1990s when cities served by the former TXU gave up their statutory right to rate case expense reimbursement in exchange for higher franchise fee payments. Empowered by city resolutions and funded by *per capita* assessments, the Steering Committee has been the primary public interest advocate before the Public Utility Commission, the Courts, and the Legislature on electric utility regulation matters for the last 30 years.

Although Oncor has increased rates many times over the past few years, this is the first comprehensive base rate case for the Company since March 2017.

### **EXPLANATION OF "BE IT RESOLVED" PARAGRAPHS:**

Section 1. The City is authorized to suspend the rate change for 90 days after the date that the rate change would otherwise be effective for any legitimate purpose. Time to study and investigate the application is always a legitimate purpose. Please note that the resolution refers to the suspension period as "the maximum period allowed by law" rather than ending by a specific date. This is because the Company controls the effective date and can extend the deadline for final city action to increase the time that the City retains jurisdiction if necessary to reach settlement on the case. If the suspension period is not otherwise extended by the Company, the City must take final action on Oncor's request to raise rates by June 17, 2022.

Section 2. This provision authorizes the Steering Committee, consistent with the City's resolution approving membership in the Steering Committee, to act on behalf of the City at the local level in

settlement discussions, in preparation of a rate ordinance, on appeal of the rate ordinance to the PUC, and on appeal to the Courts. Negotiating clout and efficiency are enhanced by the City cooperating with the Steering Committee in a common review and common purpose. Additionally, rate case expenses are minimized when the Steering Committee hires one set of attorneys and experts who work under the guidance and control of the Executive Committee of the Steering Committee.

Section 3. The Company will reimburse the Steering Committee for its reasonable rate case expenses. Legal counsel and consultants approved by the Executive Committee of the Steering Committee will submit monthly invoices that will be forwarded to Oncor for reimbursement. No individual city incurs liability for payment of rate case expenses by adopting a suspension resolution.

Section 4. This section merely recites that the resolution was passed at a meeting that was open to the public and that the consideration of the Resolution was properly noticed.

Section 5. This section provides that both Oncor and Steering Committee counsel will be notified of the City's action by sending a copy of the approved and signed resolution to certain designated individuals.

#### **FINANCIAL CONSIDERATION:**

None

#### **BODY**

**A RESOLUTION OF THE CITY OF GRAND PRAIRIE SUSPENDING THE JUNE 17, 2022 EFFECTIVE DATE OF ONCOR ELECTRIC DELIVERY COMPANY'S REQUESTED RATE CHANGE TO PERMIT THE CITY TIME TO STUDY THE REQUEST AND TO ESTABLISH REASONABLE RATES; APPROVING COOPERATION WITH THE STEERING COMMITTEE OF CITIES SERVED BY ONCOR TO HIRE LEGAL AND CONSULTING SERVICES AND TO NEGOTIATE WITH THE COMPANY AND DIRECT ANY NECESSARY LITIGATION AND APPEALS; FINDING THAT THE MEETING AT WHICH THIS RESOLUTION IS PASSED IS OPEN TO THE PUBLIC AS REQUIRED BY LAW; REQUIRING NOTICE OF THIS RESOLUTION TO THE COMPANY AND LEGAL COUNSEL FOR THE STEERING COMMITTEE**

**WHEREAS**, on or about May 13, 2022, Oncor Electric Delivery Company (Oncor), pursuant to PURA §§ 33.001 and 36.001 filed with the City of Grand Prairie a Statement of Intent to increase electric transmission and distribution rates in all municipalities exercising original jurisdiction within its service area effective June 17, 2022; and

**WHEREAS**, the City of Grand Prairie is a member of the Steering Committee of Cities Served by Oncor (“Steering Committee”) and will cooperate with the 169 similarly situated city members and other city participants in conducting a review of the Company’s application and to hire and direct legal counsel and consultants and to prepare a common response and to negotiate with the Company prior to getting reasonable rates and direct any necessary litigation; and

**WHEREAS**, PURA § 36.108 grants local regulatory authorities the right to suspend the effective date of proposed rate changes for ninety (90) days after the date the rate change would otherwise be effective; and

**WHEREAS**, PURA § 33.023 provides that costs incurred by Cities in ratemaking proceedings are to be reimbursed by the regulated utility.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:**

**Section 1.** That the June 17, 2022 effective date of the rate request submitted by Oncor on or about May 13, 2022, be suspended for the maximum period allowed by law to permit adequate time to review the proposed changes and to establish reasonable rates.

**Section 2.** As indicated in the City’s resolution approving membership in the Steering Committee, the Executive Committee of Steering Committee is authorized to hire and direct legal counsel and consultants, negotiate with the Company, make recommendations regarding reasonable rates, and to intervene and direct any necessary administrative proceedings or court litigation associated with an appeal of a rate ordinance and the rate case filed with the City or Public Utility Commission.

**Section 3.** That the City’s reasonable rate case expenses shall be reimbursed by Oncor.

**Section 4.** That it is hereby officially found and determined that the meeting at which this Resolution is passed is open to the public as required by law and the public notice of the time, place, and purpose of said meeting was given as required.

**Section 5.** A copy of this Resolution shall be sent to Oncor, Care of Howard V. Fisher, Oncor Electric Delivery Company LLC, 1616 Woodall Rodgers Freeway, Dallas, Texas 75202 and to Thomas Brocato, Counsel to the Steering Committee, at Lloyd Gosselink Rochelle & Townsend, P.C., P.O. Box 1725, Austin, Texas 78767-1725.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, ON THIS THE 7<sup>TH</sup> DAY OF JUNE 2022.**



**CITY OF GRAND PRAIRIE  
RESOLUTION**

**MEETING DATE:** 06/07/2022

**REQUESTER:** Angi Mize

**PRESENTER:** Angi Mize, Purchasing Manager

**TITLE:** Resolution authorizing the City Manager to execute a master inter-local purchasing agreement between the City of Grand Prairie and the City of Horizon, Texas

**RECOMMENDED ACTION:** Approve

**ANALYSIS:**

Chapter 791 of the Texas Government Code, also known as the Inter-local Cooperation Contracts Act, authorizes all local governments to contract with each other to perform governmental functions or services including administrative functions normally associated with the operation of government such as purchasing of necessary equipment, supplies and services.

The City of Horizon, Texas and the City of Grand Prairie would like to enter into a master inter-local agreement that would authorize each to utilize current active and future contracts awarded by the other entity.

The supplier for each contract shall bill the entity using the contract directly for all goods and services purchased and each entity shall be responsible for payments and ensuring the supplier's compliance with all conditions of the agreement.

**FINANCIAL CONSIDERATION:**

Purchases made through this inter-local agreement will be paid from various Capital or Operating budgets.

**BODY**

**A RESOLUTION OF THE CITY OF GRAND PRAIRIE, TEXAS,  
AUTHORIZING THE CITY MANAGER TO EXECUTE A MASTER INTERLOCAL  
AGREEMENT WITH THE CITY OF HORIZON, TEXAS**

**WHEREAS,** the City Council of the City of Grand Prairie, Texas, approves the terms and conditions of the Interlocal Purchasing Agreement between the City of Horizon, Texas providing for a cooperative



purchasing program for goods and services; designating the Purchasing Manager or his designee, as the official representative for the City of Grand Prairie; and

**WHEREAS,** the City of Grand Prairie, Texas, pursuant to the authority granted under Section 271.101 to 271.102 of the Local Government Code, desires to participate in the described purchasing program, and is of the opinion that participation in this program will be highly beneficial to the taxpayers through anticipated savings to be realized.

**NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS THAT:**

**SECTION 1.** THAT the Cooperative Purchasing Agreement with the City of Horizon, Texas is found to be acceptable and in the best interest of the City of Grand Prairie and its citizens and is hereby approved.

**SECTION 2.** THAT the City Manager is authorized to execute the agreement hereby approved on behalf of the City and that the Purchasing Manager or his designee is hereby designated to act for the City of Grand Prairie in all matters relating to Cooperative Purchasing Agreement including the designation of specific contracts in which the City of Grand Prairie desires to participate.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_.**



**CITY OF GRAND PRAIRIE  
COMMUNICATION**

**MEETING DATE:** 06/07/2022

**REQUESTER:** Caryl DeVries, P.E., PTOE

**PRESENTER:** Caryl DeVries, P.E., PTOE, Assistant Director of Transportation

**TITLE:** Resolution authorizing the City Manager to amend an agreement with the Texas Department of Transportation for the 100% reimbursement of the City cost increase from \$54,250.00 to \$69,350.00 for the construction of traffic signals for IH30 at Carrier Parkway and IH30 at NW 7<sup>th</sup> Street

**RECOMMENDED ACTION:** Approve

**ANALYSIS:**

City Council approved an agreement on June 19, 2018, which was fully executed with the Texas Department of Transportation on August 29, 2018, to reimburse the cost of furnishing and installing traffic signal equipment at the intersections of IH 30 at Carrier Parkway and IH 30 at NW 7<sup>th</sup> Street along with the IH 30 frontage road project.

It is necessary to amend this agreement in order to add a second signal cabinet at the intersection of IH 30 at Carrier Parkway and the contract amount needs to increase from \$54,250.00 to a total of \$69,350.00. The original agreement is otherwise unchanged.

**FINANCIAL CONSIDERATION:**

The total amount of \$69,350.00 for traffic signal equipment will be paid from the Grand Fund ACCT NO 36518018 and reimbursed by TxDOT.

**A RESOLUTION OF THE CITY OF GRAND PRAIRIE, TEXAS, A RESOLUTION AUTHORIZING THE CITY MANAGER TO AMEND AN AGREEMENT WITH TXDOT FOR THE CONSTRUCTION OF TRAFFIC SIGNALS AT IH30 AT CARRIER PKWY, AND IH30 AT NW 7TH STREET**

**WHEREAS**, the State and the Local Government executed a contract on August 29, 2018, to effectuate their agreement for the State to reimburse the cost of furnishing and installing traffic signal equipment at the intersections of IH 30 at Carrier Parkway and IH 30 at NW 7<sup>th</sup> Street, in the City of Grand Prairie; and,

parties to this agreement have mutually determined that it is necessary to amend the original agreement to add a second cabinet at the intersection of IH 30 at Carrier Parkway and to increase the contract amount to \$69,350.00; and

**WHEREAS**, the Texas Department of Transportation will reimburse Local Government for any equipment provided to the contractor for traffic signal installation.

**NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS THAT:**

The City Manager is hereby authorized to enter into an amended agreement with TxDOT for construction of traffic signals at IH 30 at Carrier Parkway and IH 30 at NW 7<sup>th</sup> Street; and

The State and Local Government do agree as follows:

1. Attachment B shall be voided in its entirety and replaced with Attachment B-1.
2. Compensation. The maximum amount reimbursable by the State to the City under this amendment is increased from \$54,250.00 to \$69,350.00.
3. All other provisions of the original agreement are unchanged and remain in full force and effect.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, ON THIS THE 7<sup>TH</sup> DAY OF JUNE 2022.**

CSJ # 1068-04-119, etc.  
District # 18/DAL  
Code Chart 64 # 16950  
Project: Traffic Signal  
Federal Highway Administration  
CFDA No.:20.205  
Not Research and Development

STATE OF TEXAS §

COUNTY OF TRAVIS §

**AGREEMENT FOR THE FURNISHING AND INSTALLING OF  
TRAFFIC SIGNAL EQUIPMENT BY A MUNICIPALITY**

**AMENDMENT #1**

**THIS AMENDMENT** is made by and between the State of Texas, acting through the Texas Department of Transportation, called the “State,” and the City of Grand Prairie, Dallas County, Texas, acting through its duly authorized officials, called the Local Government”. The State and Local Government shall be collectively referred to as “the parties” hereinafter.

**WITNESSETH**

**WHEREAS**, the State and the Local Government executed a contract on August 29, 2018 to effectuate their agreement for the State to reimburse the cost of furnishing and installing traffic signal equipment at the intersections of IH 30 at Carrier Parkway and IH 30 at NW 7<sup>th</sup> Street, in the City of Grand Prairie; and,

parties to this agreement have mutually determined that it is necessary to amend the original agreement due to the following reason: to add a second cabinet at the intersection of IH 30 at Carrier Parkway and to increase the contract amount.

**NOW THEREFORE**, in consideration of the premises and of the mutual covenants and agreements of the parties, the State and the Local Government do agree as follows:

**AGREEMENT**

1. Attachment B shall be voided in its entirety and replaced with Attachment B-1.
2. Compensation. The maximum amount reimbursable by the State to the City under this amendment is increased from \$54,250.00 to \$69,350.00.
3. All other provisions of the original agreement are unchanged and remain in full force and effect.

**4. Signatory Warranty**

Each signatory warrants that the signatory has necessary authority to execute this agreement on behalf of the entity represented.

Each party is signing this agreement on the date stated below that party's signature.

**THE CITY OF GRAND PRAIRIE**

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Type or Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Date

**THE STATE OF TEXAS**

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Type or Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Date

CSJ # 1068-04-119, etc.  
District # 18/DAL  
Code Chart 64 # 16950  
Project: Traffic Signal  
Federal Highway Administration  
CFDA No.:20.205  
Not Research and Development

**ATTACHMENT A**  
**CITY RESOLUTION OR ORDINANCE**

CSJ # 1068-04-119, etc.  
District # 18/DAL  
Code Chart 64 # 16950  
Project: Traffic Signal  
Federal Highway Administration  
CFDA No.:20.205  
Not Research and Development

**ATTACHMENT B -1  
COST ESTIMATE**

**IH 30 at Carrier Parkway**

Controller Cabinet Assembly = \$15,100.00  
**2<sup>nd</sup> Controller Cabinet Assembly = \$15,100.00**  
Battery Backup Unit System = \$5,000.00  
Ethernet Switch = \$1,500.00  
Power Supply \$400.00  
Wireless Radio w/ mounting bracket = \$4,000.00  
Street Name Signs = \$1,500.00  
**SUBTOTAL = \$42,600.00**

**IH 30 at NW 7tth Street**

Controller Cabinet Assembly = \$15,100.00  
Battery Backup Unit System = \$5,000.00  
Ethernet Switch = \$1,500.00  
Power Supply \$400.00  
Wireless Radio w/ mounting bracket = \$4,000.00  
Street Name Signs = \$750.00  
**SUBTOTAL = \$26,750.00**

**GRAND TOTAL = \$69,350.00**



**CITY OF GRAND PRAIRIE  
ORDINANCE**

**MEETING DATE:** 06/07/2022

**REQUESTER:** Dwayne Tyner

**PRESENTER:** Gabe Johnson, Director of Engineering and Public Works

**TITLE:** Ordinance to convey required utility easement and right of way to Oncor Electric Delivery Company LLC being part of Lot 1R, Block 4, Epic Central Phase III, for switchgear, Dallas County

**RECOMMENDED ACTION:** Approve

**ANALYSIS:**

Oncor Electric requires an easement and right of way on Lot 1R, Block 4, Epic Central Phase III (See attached **Exhibit "A"** for easement and right of way description). This easement and right of way is required for retail 4 and 5 for installation of switchgear to serve City property.

The easement is located at the intersection of Park Central and SH 161, on the south side of Park Central. The easement contains 528 sf (or 0.0121 acres).

Staff is requesting authorization of the City Manager or his designated representative to convey the utility easement and right of way to Oncor Electric Delivery Company LLC and sign all related documents.

This easement will be located on City property in TIRZ #1 and conveyance of the easement is necessary to serve the property and advisable to implement the project plan.

**FINANCIAL CONSIDERATION:**

None

**BODY**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, AUTHORIZING THE CONVEYANCE OF A PERMANENT EASEMENT AND RIGHT OF WAY TO ONCOR ELECTRIC DELIVERY COMPANY LLC FOR 0.0121 ACRE OF LAND REQUIRED FOR THE INSTALLATION OF NEW ONCOR ELECTRIC FACILITIES ON LOT 1R, BLOCK 4, EPIC CENTRAL PHASE III, LOCATED AT THE INTERSECTION OF PARK CENTRAL AND SH 161, DALLAS COUNTY; AUTHORIZING THE CITY MANAGER OR HIS DELEGATE TO ENTER INTO AND SIGN ANY REQUIRED DOCUMENTS TO COMPLETE**

**Commented [DR1]:** Sec. 18. - Franchises and special privileges.

(e) No franchise grant shall ever be exclusive.

I believe this limitation applies to Oncor.



**EASEMENT AND RIGHT OF WAY CONVEYANCE; AND PROVIDING AN EFFECTIVE DATE**

**WHEREAS**, Oncor Electric Delivery Company, LLC, a Delaware limited liability company, requires the City convey an electric utility easement and right of way to serve City property; and

**WHEREAS**, said easement and right of way is required to install Oncor switchgear for Epic Central four and five located in the D. R. Cameron Survey, Abstract No. 295, Dallas County (see attached **Exhibit “A”** for description of easement and right of way); and

**WHEREAS**, this easement will be located on City property in TIRZ #1 and conveyance of the easement is necessary to serve the property and advisable to implement the project plan; and

**WHEREAS**, the City Council of the City of Grand Prairie desires to convey the required utility easement and right of way to Oncor Electric Delivery Company, LLC, a Delaware limited liability company.

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:**

**SECTION 1:** That the City of Grand Prairie hereby concurs in and authorizes the conveyance of that described easement and right of way containing 0.0121acre (or 528 s.f.) acre of land, located in the City of Grand Prairie, Dallas County, Texas, to Oncor Electric Delivery Company, LLC, a Delaware limited liability company.

**SECTION 2:** That the City of Grand Prairie does hereby consent to the easement and right of way conveyance on this said this property.

**SECTION 3:** That the City Manager or his delegate is hereby authorized to sign any and all required documents related to the easement and right of way conveyance to Oncor Electric Delivery Company, LLC.

**SECTION 4:** That this ORDINANCE shall become effective immediately upon its passage and approval.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, ON THIS THE 7<sup>th</sup> DAY OF JUNE 2022.**

**EXHIBIT A**  
**ONCOR ELECTRIC DELIVERY COMPANY LLC EASEMENT**  
**0.0121 ACRES (528 SQUARE FEET)**  
**BEING PART OF LOT 1R, BLOCK 4 of EPIC CENTRAL PHASE III**  
**D.R. CAMERON SURVEY, ABSTRACT NUMBER 295**  
**CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS**

BEING a 0.0121 acre tract of land situated in the D.R. Cameron Survey, Abstract Number 295, Dallas County, Texas, and being part of Lot 1R, Block 4 of Epic Central Phase III, Lot 3R, Block 2, Lot 1, Block 3, Lot 2R, Block 3, and Lot 1R, Block 4, an addition to the City of Grand Prairie, as recorded in Instrument Number 202100014122 of the Official Public Records of Dallas County, Texas (O.P.R.D.C.T.), and being a part of a called 172.155 acre tract of land described in Special Warranty Deed to the City of Grand Prairie, as recorded in Volume 2000032, Page 1474 of the Deed Records of Dallas County, Texas (D.R.D.C.T.), and being more particularly described by metes and bounds as follows:

**COMMENCING** at a 1/2-inch iron rod found for the southeast end of a corner clip located at the intersection of the west line of State Highway 161 (a variable width right-of-way) and the south right-of-way line of Park Central (a 53-foot wide right-of-way, dedicated by Instrument 202100014122, O.P.R.D.C.T.) and being an easterly northeast corner of said Lot 1R, Block 4;

THENCE South 64 degrees 57 minutes 41 seconds West, departing said right-of-way lines and over and across said Lot 1R, a distance of 16.24 feet to a 1/2-inch iron rod with a blue plastic cap stamped "Half ESMT" (hereafter referred to as "1/2-inch iron rod with Half ESMT cap") set for the **POINT OF BEGINNING** of the herein described tract, being at the intersection of the west line of an existing 15-foot utility easement parallel to said State Highway 161, dedicated by Plat recorded in Instrument Number 200900026373, O.P.R.D.C.T., and the south line of an existing 15-foot utility easement parallel to said Park Central, as dedicated by said Plat recorded in Instrument Number 202100014122, O.P.R.D.C.T.;

THENCE continuing over and across said Lot 1R the following calls:

South 02 degrees 32 minutes 20 seconds East, along said west easement line and parallel to State Highway 161, a distance of 45.89 feet to a point for corner (not able to set, point falls in base of tree);

North 47 degrees 32 minutes 19 seconds West, departing said west easement line, a distance of 16.18 feet to a 1/2-inch iron rod with Half ESMT cap set for corner;

North 00 degrees 35 minutes 40 seconds West, a distance of 20.52 feet to a 1/2-inch iron rod with Half ESMT cap set for corner;

South 89 degrees 12 minutes 34 seconds West, a distance of 2.51 feet to a 1/2-inch iron rod with Half ESMT cap set for corner;

**EXHIBIT A  
ONCOR ELECTRIC DELIVERY COMPANY LLC EASEMENT  
0.0121 ACRES (528 SQUARE FEET)  
BEING PART OF LOT 1R, BLOCK 4 of EPIC CENTRAL PHASE III  
D.R. CAMERON SURVEY, ABSTRACT NUMBER 295  
CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS**

North 00 degrees 47 minutes 27 seconds West, a distance of 19.24 feet to a 1/2-inch iron rod with Half ESMT cap set for corner on the aforementioned utility easement south line, parallel to Park Central;

THENCE North 89 degrees 12 minutes 34 seconds East, along said easement line parallel to Park Central, a distance of 7.53 feet to a 1/2-inch iron rod with Half ESMT cap set for corner;

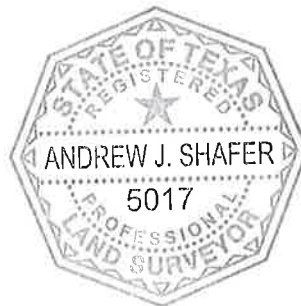
THENCE South 47 degrees 32 minutes 19 seconds East, continuing along said easement line, a distance of 7.27 feet to the **POINT OF BEGINNING AND CONTAINING 528 square feet or 0.0121 acres of land, more or less.**

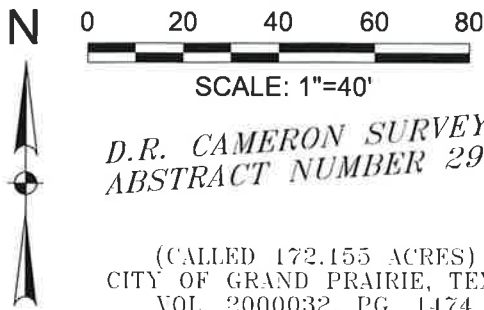
**NOTES:**

The Basis of Bearings is the Final Plat of Epic Central Phase III Addition, recorded in Instrument Number 202100014122, Official Public Records of Dallas, County, Texas.

This legal description was prepared with an exhibit of even date.

*Andrew J. Shafer* 5/23/2022  
Andrew J. Shafer  
Registered Professional Land Surveyor  
Texas No. 5017  
TBPELS Firm No. 10029600

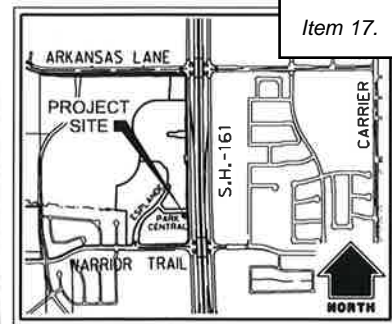




D.R. CAMERON SURVEY,  
ABSTRACT NUMBER 295

LOT 2R,  
BLOCK 3

(CALLED 172.155 ACRES)  
CITY OF GRAND PRAIRIE, TEXAS  
VOL. 2000032, PG. 1474  
D.R.D.C.T.



VICINITY MAP  
NOT TO SCALE

VISIBILITY EASEMENTS  
INST. NO. 202100014122

50' BLDG. SETBACK  
INST. NO. 202100014122

25' BLDG. SETBACK  
INST. NO. 202100014122

15' UTILITY EASEMENT  
INST. NO. 200900026373

**PARK CENTRAL**

(53' WIDE R.O.W.)  
INST. NO. 202100014122  
O.P.R.D.C.T.

1/2" FIR  
(C.M.)

N 89°12'34" E

324.14'

N 00°47'27" W  
19.24'

15' UTILITY EASEMENT  
INST. NO. 202100014122

25' BLDG. SETBACK  
INST. NO. 202100014122

30' PARKING SETBACK  
INST. NO. 202100014122

LOT 1R, BLOCK 4

EPIC CENTRAL PHASE III  
LOT 3R, BLOCK 2, LOT 1, BLOCK 3,  
LOT 2R, BLOCK 3, LOT 1R, BLOCK 4  
INST. NO. 202100014122  
O.P.R.D.C.T.

(CALLED 172.155 ACRES)  
CITY OF GRAND PRAIRIE, TEXAS  
VOL. 2000032, PG. 1474  
D.R.D.C.T.

**ONCOR ELECTRIC  
DELIVERY COMPANY LLC  
EASEMENT  
0.0121 ACRES  
(528 SQUARE FEET)**

N 47°32'19" W  
16.18'

50' BLDG. SETBACK  
INST. NO. 202100014122

25' BLDG. SETBACK  
INST. NO. 202100014122

15' UTILITY EASEMENT  
INST. NO. 200900026373

Could Not  
Set (falls  
within tree)

317.90'

S 02°32'20" E

1/2" FIR  
(C.M.)

S 47°32'19" E  
7.27'

N 89°12'34" E  
7.53'

**POINT OF BEGINNING**

S 47°32'19" E  
19.43'

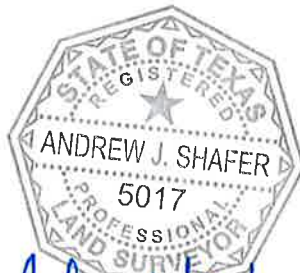
1/2" FIR  
(C.M.)

**POINT OF  
COMMENCING**

S 64°57'41" W  
16.24'

S 02°32'20" E  
45.89'

**STATE HIGHWAY 161**  
(53' WIDE R.O.W.)  
INST. NO. 202100014122  
O.P.R.D.C.T.



*Andrew J. Shafer*  
5/23/2022

**NOTES:**  
The Basis of Bearing is the Final Plat of Epic Central Phase III Addition, recorded in Instrument Number 202100014122 of the Official Public Records of Dallas County, Texas.

This exhibit was prepared with a metes and bounds description of even date.

**LEGEND**

- FIR FOUND IRON ROD
- W/CAP WITH A YELLOW PLASTIC CAP STAMPED "HALFF"
- C.M. CONTROLLING MONUMENT
- INST. NO. INSTRUMENT NUMBER
- VOL., PG. VOLUME, PAGE
- 1/2-INCH SET IRON ROD WITH A BLUE PLASTIC CAP STAMPED "HALFF ESMT" (UNLESS NOTED)

**EXHIBIT A**  
**ONCOR ELECTRIC DELIVERY COMPANY LLC EASEMENT**  
**0.0121 ACRES (528 SQUARE FEET)**  
BEING PART OF LOT 1R, BLOCK 4  
IN EPIC CENTRAL PHASE III  
SITUATED IN THE  
D.R. CAMERON SURVEY, ABSTRACT NUMBER 295  
CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS  
FOR  
**CITY OF GRAND PRAIRIE**  
PREPARED BY  
**HALFF**  
HALFF ASSOCIATES, INC. ENGINEERS - SURVEYORS  
1201 NORTH BOWSER ROAD - RICHARDSON, TEXAS - 75081  
SCALE: 1"=40' TELE. (214)346-6200 AVO. 34658 MAY, 2022



**CITY OF GRAND PRAIRIE  
ORDINANCE**

**MEETING DATE:** 06/07/2022

**REQUESTER:** Dwayne Tyner

**PRESENTER:** Gabe Johnson, Director of Engineering and Public Works

**TITLE:** Ordinance to convey a utility easement and right of way to Oncor Electric Delivery Company, LLC located at Egyptian Way, Dogwood Court and SH 161, Dallas County

**RECOMMENDED ACTION:** Approve

**ANALYSIS:**

Oncor Electric has requested an easement and right of way on a City-owned property located at 1901 Egyptian Way (See attached **Exhibit "A"** for easement and right of way description). Currently, Oncor has existing overhead facilities on this property. Research by Oncor determined an easement could not be located. Oncor has requested the City to sign an easement and right of way for future maintenance and access to this easement. (See **Exhibit "B"** aerial for location).

The proposed easement in two tracts is about 15-foot wide and 1,172-foot long. It contains a total of 13,795.2 sf (or 0.316 acres), and is located on a narrow strip of land, or land that because of its shape, cannot be used independently for development and is located in the floodway.

Staff is requesting authorization of the City Manager or his designated representative to convey the utility easement and right of way to Oncor Electric Delivery Company LLC and sign all related documents.

**FINANCIAL CONSIDERATION:**

None

**BODY**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, AUTHORIZING THE CONVEYANCE OF A PERMANENT EASEMENT AND RIGHT OF WAY TO ONCOR ELECTRIC DELIVERY COMPANY LLC FOR 0.316 ACRE OF LAND REQUIRED FOR ACCESS TO EXISTING ONCOR FACILITIES IN THE I&GN RR CO SURVEY, ABSTRACT NUMBER 1717, LOCATED AT 1901 EGYPTIAN WAY, DALLAS COUNTY; AUTHORIZING THE CITY MANAGER OR HIS DELEGATE TO ENTER INTO AND SIGN ANY REQUIRED DOCUMENTS TO COMPLETE EASEMENT AND RIGHT OF WAY CONVEYANCE; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, Oncor Electric Delivery Company, LLC, a Delaware limited liability company, has requested the City to convey an electric utility easement and right of way; and

**WHEREAS**, said easement and right of way is required to allow access to existing Oncor facilities located at 1901 Egyptian Way, I&GN RR Co Survey, Abstract No. 1717, Dallas County (see attached **Exhibit “A”** for description of easement and right of way); and

**WHEREAS**, said easement and right of way is located on a narrow strip of land, or land that because of its shape, cannot be used independently for development and is located in the floodway; and

**WHEREAS**, the City Council of the City of Grand Prairie desires to convey the required utility easement and right of way to Oncor Electric Delivery Company, LLC, a Delaware limited liability company;

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:**

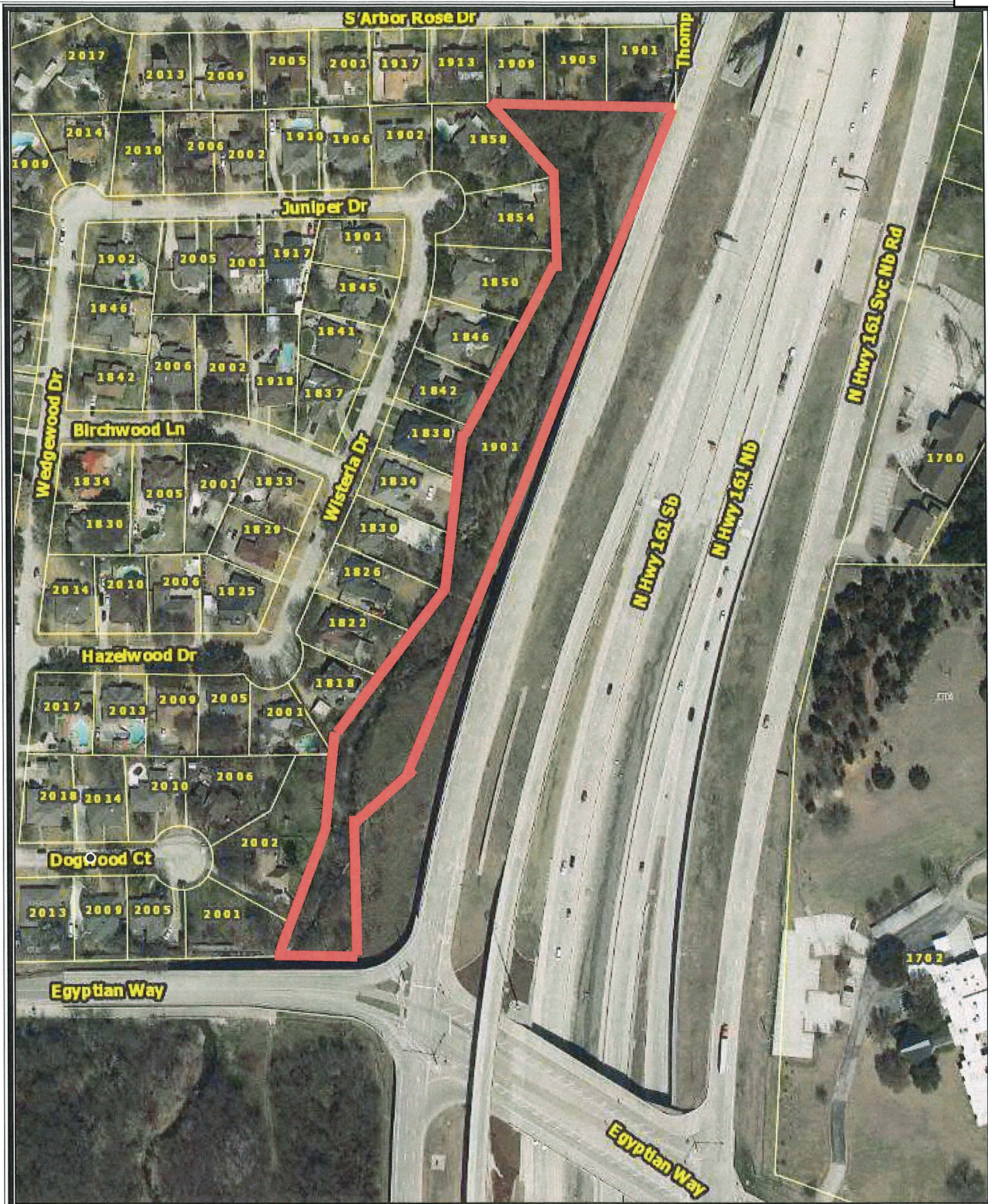
**SECTION 1:** That the City of Grand Prairie hereby concurs in and authorizes the conveyance of that described easement and right of way containing 0.316 acre (or 13,795.2 s.f.) acre of land, located in the City of Grand Prairie, Dallas County, Texas, to Oncor Electric Delivery Company, LLC, a Delaware limited liability company.

**SECTION 2:** That the City of Grand Prairie does hereby consent to the easement and right of way conveyance on said property.

**SECTION 3:** That the City Manager or his delegate is hereby authorized to sign any and all required documents related to the easement and right of way conveyance to Oncor Electric Delivery Company, LLC.

**SECTION 4:** That this ORDINANCE shall become effective immediately upon its passage and approval.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, ON THIS THE   7TH   DAY OF   JUNE     2022  .**



Grand Prairie Maps

Date: 5/16/2022 Time: 10:57:20 AM

This data has been compiled by the City of Grand Prairie IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

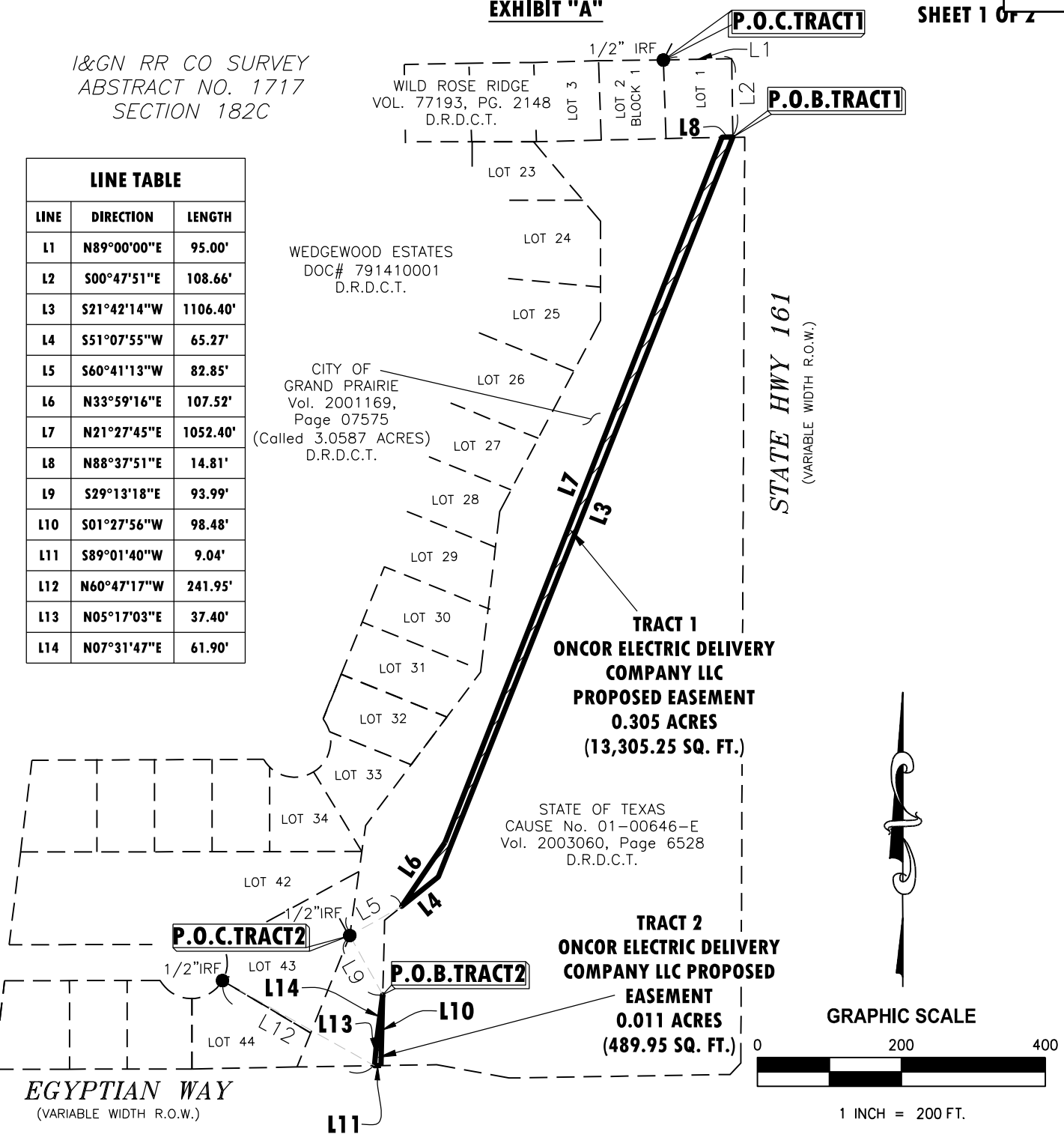


# EXHIBIT 'B'

**EXHIBIT "A"**

I&GN RR CO SURVEY  
 ABSTRACT NO. 1717  
 SECTION 182C

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	N89°00'00"E	95.00'
L2	S00°47'51"E	108.66'
L3	S21°42'14"W	1106.40'
L4	S51°07'55"W	65.27'
L5	S60°41'13"W	82.85'
L6	N33°59'16"E	107.52'
L7	N21°27'45"E	1052.40'
L8	N88°37'51"E	14.81'
L9	S29°13'18"E	93.99'
L10	S01°27'56"W	98.48'
L11	S89°01'40"W	9.04'
L12	N60°47'17"W	241.95'
L13	N05°17'03"E	37.40'
L14	N07°31'47"E	61.90'



STATE OF TEXAS  
 CAUSE No. 01-00646-E  
 Vol. 2003060, Page 6528  
 D.R.D.C.T.

**EGYPTIAN WAY**  
 (VARIABLE WIDTH R.O.W.)

**LEGEND / ABBREVIATIONS**

- PROPERTY LINE
- ABSTRACT LINE
- HIDDEN LINE
- 1/2" IRON ROD FOUND
- D.R.D.C.T. DEED RECORDS, DALLAS COUNTY, TEXAS
- ONCOR ELECTRIC DELIVERY COMPANY LLC PROPOSED EASEMENT

ONCOR ELECTRIC DELIVERY COMPANY LLC  
 PROPOSED EASEMENT  
 0.316 ACRES (13,795.2 SQ. FT.) COMBINED  
 SH 161 AND EGYPTIAN WAY  
 I&GN RR CO SURVEY, ABSTRACT NO. 1717  
 DALLAS COUNTY, TEXAS



4100 INTERNATIONAL PLAZA  
 STE. 240  
 FORT WORTH, TX 76109  
 (817)554-1805  
 www.landpoint.net  
 TBPELS REG. NO. 10194220

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**EXHIBIT "A"**

LEGAL DESCRIPTION:

TRACT 1

BEING a proposed 0.305 acre (13,305.25 square feet) easement situated in the I&GN RR CO Survey, Abstract Number 1717, Section 182C, Dallas County, Texas and being part of that certain tract of land conveyed to City of Grand Prairie, (called 3.0587 acres), recorded in Volume 2001169, Page 07575 of the Deed Records of Dallas County, Texas, (D.R.D.C.T.), and being more particularly described by metes and bounds as follows:

COMMENCING at a 1/2" iron rod found at the Northwest corner of Lot 1, Block 1 of the Wild Rose Ridge Addition, an addition to the City of Grand Prairie, recorded in Volume 77193, Page 2148, D.R.D.C.T.;

THENCE N 89°00'00" E, with the North line of said Lot 1, a distance of 95.00 feet to the Northwest corner of said Lot 1;

THENCE S 00°47'51" W with the East line of said Lot 1, a distance of 108.66 feet to the Northeast corner of said Grand Prairie tract, the common Southeast corner of said Lot 1 and the common Northwest corner of a tract of land conveyed to the State of Texas by Cause No. 01-00646-E, recorded in Volume 2003060, Page 6528 of the Deed Records of Dallas County, Texas (Right-of-Way take for State Highway 161-a variable width Right-of-Way) and being the POINT OF BEGINNING;

THENCE S21°42'14"W, with the East line of said 3.0587 acre tract and the common West line of that certain tract of land conveyed to the State of Texas, Cause Number 01-00656-E, Recorded in Volume 2003060, Page 6528, D.R.D.C.T., a distance of 1,106.40 feet to a calculated point for a corner of easement herein described;

THENCE S51°07'55"W, Continuing with the East line of said 3.0587 acre lot and the common West line of said State of Texas tract, a distance of 65.27 feet to a calculated point for a corner of easement herein described, From which a 1/2" iron rod found for an angle point in the West line of said 3.0587 acre tract and the common East line of the Wedgewood Estates Addition, an addition to the city of Grand Prairie, Recorded in Document Number 791410001, D.R.D.C.T. bears S60°41'13"W a distance of 82.85 feet;

THENCE departing said common line over and across said 3.0587 acre lot the following Two (2) courses and distances:

N33°59'16"E a distance of 107.52 feet to a calculated point for a corner of easement herein described;

N21°27'45"E a distance of 1,052.40 feet to a calculated point for a corner of easement herein described;

THENCE N88°37'51"E, with the North line of said 3.0587 acre tract and the common South line of said Lot 1, Block 1, a distance of 14.81 feet to the POINT OF BEGINNING containing 0.305 acres (13,305.25 square feet) of land, more or less.

ONCOR ELECTRIC DELIVERY COMPANY LLC  
PROPOSED EASEMENT  
0.316 ACRES (13,795.2 SQ. FT.) COMBINED  
SH 161 AND EGYPTIAN WAY  
I&GN RR CO SURVEY, ABSTRACT NO. 1717  
DALLAS COUNTY, TEXAS



4100 INTERNATIONAL PLAZA  
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TRACT 2

BEING a proposed 0.011 acre (489.95 square feet) easement situated in the I&GN RR CO Survey, Abstract Number 1717, Section 182C, Dallas County, Texas and being part of that certain tract of land conveyed to the City of Grand Prairie, (called 3.0587 acres), recorded in Volume 2001169, Page 07575 of the Deed Records of Dallas County, Texas, (D.R.D.C.T.), and being more particularly described by metes and bounds as follows:

COMMENCING at a 1/2" iron rod found at an angle point in the East line of the Wedgewood Estates addition, an addition to the city of Grand Prairie, recorded in Document Number 791410001, D.R.D.C.T.;

THENCE S29°13'18"E, a distance of 93.99 feet to the POINT OF BEGINNING being in the East line of said 3.0587 acre tract and in the common west line of a tract of land conveyed to the State of Texas by Cause No. 01-00646-E, recorded in Volume 2003060, Page 6528 of the Deed Records of Dallas County, Texas (Right-of-Way take for State Highway 161-a variable width Right-of-Way);

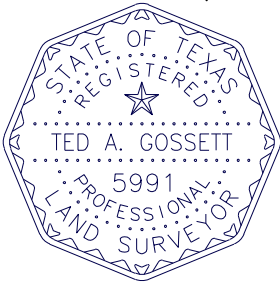
THENCE S1°27'56"W, with the East line of said 3.0587 acre tract and the common West line of said State of Texas Tract, a distance of 98.48 feet to a calculated point for a corner of easement herein described;

THENCE S89°01'40"W, with the South line of said 3.0587 acre tract and the common North Right-of-Way line of Egyptian Way, a distance of 9.04 feet to a calculated point for a corner of easement herein described, From which a 1/2" iron rod found at the North corner of Lot 44 of said Wedgewood Estates bears N60°47'17"E a distance of 241.95 feet;

THENCE over and across said 3.0587 acre tract the following Two (2) courses and distances:

N05°17'03"E a distance of 37.40 feet to a calculated point for a corner of easement herein described;

N07°31'47"E a distance of 61.90 feet to the POINT OF BEGINNING and containing 0.011 acres (489.95 square feet) of land, more or less.



I, Ted A. Gossett, certify that this plat was prepared under my direct supervision from a survey made on the ground on 03/28/2022, that this plat correctly represents the facts found at the time of said survey.

*Ted A. Gossett*

Ted A. Gossett Texas R.P.L.S. No. 5991  
04/06/2022

ONCOR ELECTRIC DELIVERY COMPANY LLC  
PROPOSED EASEMENT  
0.316 ACRES (13,795.2 SQ. FT.) COMBINED  
SH 161 AND EGYPTIAN WAY  
I&GN RR CO SURVEY, ABSTRACT NO. 1717  
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**CITY OF GRAND PRAIRIE  
RESOLUTION**

**MEETING DATE:** 06/07/2022

**REQUESTER:** Brady Olsen

**PRESENTER:** Brady Olsen, Assistant Finance Director

**TITLE:** A resolution of the City of Grand Prairie, Texas approving and authorizing an agreement with the Texas Municipal Retirement System pertaining to the City of Grand Prairie, Texas, General Obligation Pension Bonds

**RECOMMENDED ACTION:** Approve

**ANALYSIS:**

The city has the opportunity to issue pension obligation bonds to refinance its unfunded actuarial liability at a lower interest rate. This should allow an annual savings of at least \$300,000 over the next 15 years dependent on interest rates. Both F&G and Council will consider the initial contract with TMRS on June 7<sup>th</sup>. The TMRS board will then consider the contract on June 23<sup>rd</sup>. At the June 21<sup>st</sup> City Council meeting, the Council would consider a parameters ordinance to issue the debt dependent on the approval of the contract and favorable interest rates.

F&G previously considered the concept of pension obligation bonds at the April 5<sup>th</sup> Finance and Government Committee meeting and recommended staff pursue the option.

**FINANCIAL CONSIDERATION:**

The city should expect a \$300,000 annual savings with a future debt issuance.

**BODY:**

**A RESOLUTION OF THE CITY OF GRAND PRAIRIE, TEXAS APPROVING AND AUTHORIZING AN AGREEMENT WITH THE TEXAS MUNICIPAL RETIREMENT SYSTEM PERTAINING TO THE CITY OF GRAND PRAIRIE, TEXAS, GENERAL OBLIGATION PENSION BONDS**

**WHEREAS**, pursuant to City Ordinance No. 1026 dated October 3, 1955, the City became a participating municipality in the Texas Municipal Retirement System ("TMRS") for the benefit of its employees effective as of December 1, 1955; and

**WHEREAS**, the City Council expects to adopt an ordinance authorizing the City to issue one or more series of City of Grand Prairie, Texas, General Obligation Pension Bonds (the “Bonds”) pursuant to Chapter 107, Texas Local Government Code, as amended (“Chapter 107”) for the purpose of funding all or any part of the unfunded actuarial accrued liabilities owing to TMRS; and

**WHEREAS**, Section 107.003 of Chapter 107 requires that, before authorizing issuance and delivery of the Bonds, the City Council must enter into a written agreement with the Board of Trustees of TMRS (the “Board”), which written agreement (the “TMRS Agreement”) “must state the amount of the unfunded liability and the date or dates on which the public pension fund will accept the net proceeds of the obligations to be issued in payment of all or a portion of the unfunded liability”; and

**WHEREAS**, the City desires to enter into the TMRS Agreement in compliance with Chapter 107 and relating to the issuance of the Bonds.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS THAT:**

**SECTION 1:** The recitals set forth in the preamble of this Resolution are true and correct in all material respects.

**SECTION 2:** The City Council of the City hereby approves the TMRS Agreement in substantially the form and content of Exhibit A attached hereto and incorporated herein by reference as a part of this resolution for all purposes. Each of the Mayor, Mayor Pro Tem, City Manager, Deputy City Manager, and Chief Financial Officer are hereby authorized to act on behalf of the City Council to approve all final changes to the TMRS Agreement, and the Mayor or Mayor Pro Tem are hereby authorized to execute and deliver the TMRS Agreement.

**SECTION 3:** It is officially found, determined and declared that the meeting at which this Resolution is adopted was open to the public and public notice of the time, place and subject matter of the public business to be considered at such meeting, including this Resolution, was given, all as required by Texas Government Code, Chapter 551, as amended.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, ON THIS THE 7<sup>th</sup> DAY OF JUNE, 2022.**

## AGREEMENT REGARDING CITY PENSION OBLIGATION BONDS

This AGREEMENT REGARDING CITY PENSION OBLIGATION BONDS (the “Agreement”) is entered into by and between the Board of Trustees (“Board”) of the Texas Municipal Retirement System, a Texas public retirement system (“TMRS”), and the City Council (“City Council”) of the City of Grand Prairie, Texas (“City”), and will be effective for all purposes as of the date this Agreement is signed by the latter party to do so below (the “Effective Date”).

WHEREAS, pursuant to City Ordinance No. 1026 dated October 3, 1955, the City became a participating municipality in TMRS for the benefit of its employees effective as of December 1, 1955; and

WHEREAS, the City Council expects to adopt an ordinance authorizing the City to issue one or more series of City of Grand Prairie, Texas, General Obligation Pension Bonds (the “Bonds”) pursuant to Chapter 107, Texas Local Government Code, as amended (“Chapter 107”) for the purpose of funding all or any part of the unfunded actuarial accrued liabilities owing to TMRS; and

WHEREAS, Section 107.003 of Chapter 107 requires that, before authorizing issuance and delivery of the Bonds, the City Council must enter into a written agreement with the Board, which written agreement “must state the amount of the unfunded liability and the date or dates on which the public pension fund will accept the net proceeds of the obligations to be issued in payment of all or a portion of the unfunded liability”;

**NOW THEREFORE**, the City Council and the Board enter into this Agreement pursuant to Section 107.003 of Chapter 107, as follows:

1. The Board certifies that:
  - (a) TMRS is a statewide public retirement system qualified under section 401(a) of the Internal Revenue Code of 1986, as amended (the “IRC”), providing retirement, disability, and death benefits to active and retired employees of municipalities that participate in TMRS; and
  - (b) TMRS is not:
    - (i) a program that provides only workers’ compensation benefits;
    - (ii) a program administered by the federal government;
    - (iii) a plan described by IRC Section 401(d);
    - (iv) an individual retirement account consisting of an annuity contract described by IRC Section 403(b);
    - (v) an individual retirement account as defined by IRC Section 408(a);
    - (vi) an individual retirement annuity as defined by IRC Section 408(b);
    - (vii) an eligible deferred compensation plan as defined by IRC Section 457(b); or
    - (viii) a program for which benefits are administered by a life insurance company or for which the only funding agency is a life insurance company.

2. The City Council and the Board acknowledge and agree that the City has a Unfunded Actuarial Accrued Liability owing to TMRS in the amount of \$76,831,209 as of the December 31, 2021, TMRS actuarial valuation (the “2021 UAAL”).
3. The City Council acknowledges and agrees that:
  - (a) the 2021 UAAL calculation was done by TMRS’ consulting actuaries, Gabriel, Roeder, Smith & Company (“GRS”) and was approved by the TMRS Board at its May 26, 2022, meeting;
  - (b) the full actuarial valuation report can be found on the TMRS website at: [https://www.tmr.com/down/Actuarial\\_Valuations/2021\\_Actuarial\\_Valuation.pdf](https://www.tmr.com/down/Actuarial_Valuations/2021_Actuarial_Valuation.pdf)
  - (c) the City’s individual rate letter as provided by TMRS is attached hereto as **Exhibit A**;
  - (d) the City has requested to make a lump sum employer contribution to TMRS in the amount of \$[\_\_\_\_\_] to fund a portion of the 2021 UAAL from proceeds of the Bonds on the closing date of the Bonds, which shall be on or before December 31, 2022;
  - (e) the remaining portion of the 2021 UAAL equals \$[\_\_\_\_\_] and shall be referred to as the “Prior Service Portion” for purposes of this Agreement;
  - (f) the City desires to fund the Prior Service Portion from the proceeds of the Bonds through the payment of the Prior Service Portion of its required employer contributions for the time period [\_\_\_\_\_] , 2022, through [December 31, 2023] from monthly deposits to TMRS pursuant to an escrow agreement (the “Escrow Agreement”) between the City and The Bank of New York Mellon Trust Company, N.A. as escrow agent (the “Escrow Agent”); provided, however, that the City shall remain responsible for paying to TMRS any portion of the Prior Service Portion of the required employer contribution rate that is not covered by the payments made pursuant to the Escrow Agreement;
  - (g) attached as **Exhibit B** is the City’s schedule of estimated monthly payments for the Prior Service Portion;
  - (h) the deposit of \$[\_\_\_\_\_] pursuant to Section 3(d) hereof and the deposit of \$[\_\_\_\_\_] pursuant to Section 3(e) hereof [equals the 2021 UAAL]; and
  - (i) the monthly payments made by the Escrow Agent to TMRS pursuant to the terms of the Escrow Agreement shall be in furtherance of payment of the Prior Service Portion, which Prior Service Portion will be calculated by the City as a percentage of payroll based on the Prior Service Portion of the City’s applicable required employer contribution rates for 2022 and 2023 calculated by GRS. The proceeds of the Bonds deposited pursuant to the Escrow Agreement shall be for the benefit of TMRS and used solely for the purpose of funding the Prior Service Portion; provided, all amounts remaining in the Escrow Fund in December 2023 shall be

deposited with TMRS in December 2023 even if such amounts are in excess of the actual amounts required to be deposited in December 2023 based on the Prior Service Portion calculated as a percentage of payroll of the City's required employer contribution rate for December 2023 calculated by GRS.

4. The Board acknowledges and agrees that:
  - (a) The Board agrees to accept the deposits set forth in Sections 3(d), 3(f) and 3(i) hereof when made;
  - (b) The Board has fiduciary responsibility for the assets of TMRS and has the duty to oversee the investment and expenditure of the assets of TMRS; and
  - (c) The Board agrees that such deposits, when made, shall be applied to the City's 2021 UAAL as determined in the annual actuarial valuation performed by TMRS' actuary.
  
5. The City Council and the Board acknowledge and agree that, under Section 855.4065 of the "TMRS Act" (Title 8, Subtitle G, Chapters 851-855 of the Texas Government Code) and "TMRS Rule" §125.6 (Title 34, Part 6, Chapter 125, Texas Administrative Code), the City may make a lump sum employer contribution, in the above amount requested by the City, to TMRS on or before December 31, 2022, to be deposited in the City's account in the TMRS Benefit Accumulation Fund ("BAF").
  
6. The City Council further acknowledges and agrees, for itself and on behalf of the City, that:
  - (a) TMRS Act §855.4065 and TMRS Rule §125.6 only authorize a lump sum employer contribution in addition to, not in substitution of, the monthly contributions the City is actuarially required to make to TMRS under the TMRS Act;
  - (b) in accordance with TMRS Rule §125.6, any such lump sum employer contribution deposited in the City's BAF account will be held in trust by TMRS and cannot be returned to the City;
  - (c) the City's required monthly employer contributions to TMRS, which include a portion attributable to the Prior Service Portion, must continue to be made during the remainder of calendar year 2022, as well as all of calendar year 2023, and in any future year or years that the TMRS actuaries determine an employer contribution is required under the terms of the TMRS Act;
  - (d) the City must still contribute its required monthly employer contributions to TMRS based on the full actuarially determined contribution rate of 17.23% and 17.73% for calendar years 2022 and 2023, respectively, and these rates reflect rates for both the TMRS retirement plan and the supplemental death benefit plan selected by the City under the TMRS Act;

- (e) because there is a one year lag between the TMRS actuarial valuation date and when the City employer contribution rates become effective, any lump sum employer contribution made in calendar year 2022 would first impact the City's calendar year 2023 employer contribution rates and first be reflected in the City's prior service portion contribution rate for 2023 as determined in the December 31, 2021, TMRS actuarial valuation; and
- (f) even if the City makes one or more lump sum employer contributions, the City will also be required to contribute the full actuarially determined employer contribution rate for future years beyond 2022.

- 7. In any lawsuit or legal dispute arising from the operation of this Agreement, the parties agree that the laws of the State of Texas shall govern, without regard to the principles of conflicts of laws. Subject to TMRS' sovereign immunity, to the extent it is necessary to resolve any dispute under this Agreement in a court, and if resolution by a court is consistent with the provisions hereof, courts of the State of Texas shall have jurisdiction over any and all disputes between the parties hereto, whether in law or equity, and exclusive venue in any such dispute shall be laid in Travis County, Texas.
- 8. This Agreement may be amended only by a written instrument executed by the parties hereto. This Agreement may be executed in one or more counterparts, each of which will be deemed an original, but all of which together will constitute one and the same agreement.

**IN WITNESS WHEREOF**, the parties have executed this Agreement on the date(s) set forth opposite the signatures of their authorized representatives to be effective for all purposes on the date first written above.

CITY COUNCIL OF THE CITY OF  
GRAND PRAIRIE, TEXAS

BOARD OF TRUSTEES OF THE TEXAS  
MUNICIPAL RETIREMENT SYSTEM

BY: \_\_\_\_\_

BY: \_\_\_\_\_

NAME: \_\_\_\_\_

NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

TITLE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_



**EXHIBIT A**  
**CITY OF GRAND PRAIRIE RATE LETTER**

**EXHIBIT B**  
**SCHEDULE OF ESTIMATED MONTHLY PAYMENTS**



**CITY OF GRAND PRAIRIE  
COMMUNICATION**

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**MEETING DATE:** 06/07/2022

**REQUESTER:** Mona Lisa Galicia, City Secretary

**PRESENTER:** Mayor Ron Jensen

**TITLE:** Appointments of Mayor Pro Tem and Deputy Mayor Pro Tem

**RECOMMENDED ACTION:** Approve

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**CITY OF GRAND PRAIRIE  
ORDINANCE**

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**MEETING DATE:** 06/7/2022

**REQUESTER:** Monica Espinoza

**PRESENTER:** Savannah Ware, AICP, Chief City Planner

**TITLE:** ZON-22-03-0007 – Zoning Change/Concept Plan – Jefferson at Loyd Park (City Council District 4). Zoning Change from Agriculture to a Planned Development District for two Multi-Family tracts with 900 units along with 122 townhome lots on 58.38 acres. Multiple parcels within the Ralph Graves Survey, Abstract 569, City of Grand Prairie, Tarrant County, Texas, Zoned Agricultural (A) with an approximate address of 7112 N Day Miar Rd (On May 9, 2022, the Planning and Zoning Commission motion to approve failed by a vote of 4-4 resulting in a recommendation of denial)

**APPLICANT:** T. Miller, Sylvan, JPI Real Estate Acquisition, LLC

**RECOMMENDED ACTION:** Table to June 21, 2022

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**CITY OF GRAND PRAIRIE  
COMMUNICATION**

**MEETING DATE:** 06/07/2022

**REQUESTER:** Monica Espinoza, Administrative Supervisor

**PRESENTER:** Savannah Ware, AICP, Chief City Planner

**TITLE:** STP-22-03-0019 – Site Plan - GSW Townhomes (City Council District 2). Site Plan for a Townhome development with 95 units on 10 acres. Tract 3A, William Thompson Survey, Abstract No. 1558, City of Grand Prairie, Tarrant County, Texas, zoned Planned Development (PD-421), with an approximate address of 2801 South Great Southwest Parkway (On May 9, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0)

**OWNER/APPLICANT** Hamilton Peck

**RECOMMENDED ACTION:** Staff generally supports the request but notes the townhome elevations are inconsistent with the original conceptual townhome elevations.

**SUMMARY:**

STP-22-03-0019 - Site Plan for a Townhome development with 95 units on 10 acres. Tract 3A, William Thompson Survey, Abstract No. 1558, City of Grand Prairie, Tarrant County, Texas, zoned Planned Development (PD-421), with an approximate address of 2801 South Great Southwest Parkway.

**PURPOSE OF REQUEST:**

This Site Plan provides a detailed layout of a proposed townhome development with 95 housing units and an amenity area that will be maintained by a homeowner’s association (HOA).

**ADJACENT LAND USES:**

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1. Adjacent Zoning and Land Uses**

Direction	Zoning	Existing Use
North	LI	Vacant Land
South	LI	Industrial Warehouse
West	LI	Grand Prairie Municipal Airport
East	PD-276	Single Family Residential, Drainage Easement

## HISTORY:

- November 2, 2021: City Council approved a zoning change from Commercial to a Planned Development District for Townhome Use (PD-421) (Case Number Z210804/CP210803).

## PROPOSED USE CHARACTERISTICS AND FUNCTION:

This Site Plan depicts 95 townhome units on individually platted lots on 10 acres:

- Each unit will have an attached two-car garage.
- Amenities include a clubhouse, pool area, basketball court, pickleball court, dog park, and playground as well as a pocket park located at the Epic Central trail connection.
- Common landscaping, screening wall, private streets, and signage will be maintained an HOA.
- The existing drainage canal that crosses the interior of the property will remain in place. This drainage area will be landscaped to add visual interest to the streetscape.
- Active streets are encouraged with rear entry garages along with front porches, balconies, and sidewalks.
- To mitigate noise from adjacent existing developments, blown insulation will be provided for the western and southern walls of designated units.
- An eight-foot masonry screening wall will surround the property.

The site is accessible from Arkansas Lane and South Great Southwest Parkway.

## ZONING REQUIREMENTS:

### *Density and Dimensional Requirements*

This Planned Development will use the base zoning of SF-T with variances to lot configuration. The table below includes a comparison of requirements along with variances if needed.

**Table 2. Density and Dimensional Requirements**

Standard	PD-421 or Article 6 Density & Dim. (SF-Townhouse)	Proposed	Meets
Max. Density (DUA)	13.2	9.5	Yes
Min. Living Area (Sq. Ft.)	1,150 to 1,299 30% (Max.) = or >1,300 70% (Min.)	100%	Yes
Min. Lot Area (Sq. Ft.)	1,680-3,299 = 61% (Max) = or >3,300 = 39% (Min)	61% 39%	Yes Yes
Min. Lot Width (Ft.)	21-29 = 31% (Max) = or >30 = 69% (Min)	29% 71%	Yes Yes
Min. Lot Depth (Ft.)	80-99 = 68% (Max) = or >100 = 32% (Min)	62% 38%	Yes Yes
Min. Front Yard Setback (Ft.)	10	17 & 10	Yes
Min. Rear Yard Setback (Ft.)	10	10	Yes
Min. Garage Setback-front and back (Ft.)	0	20 & 0	Yes
Rear Alley Setback (Ft.)	0	10 & 0	Yes
Min. Int. Side-Not Attached (Ft.)	5	5	Yes

Min. Int. Side-Attached (Ft.) (Includes Accessory Structure)	0	0	Yes
Min. Side-Street (Ft.)	10	10	Yes
Max. Height (Ft.)	35 (3 Stories)	35 (3 Stories)	Yes
Max. Lot Coverage (%)	72	72	Yes

### *Parking*

Appendix W requires two garage parking spaces for each unit with two or more bedrooms. The garage units must be directly accessible to the living area of the residential units. Since the applicant is proposing a minimum of two bedrooms, this development will need to provide a two-car garage for each unit.

Additionally, Appendix W requires that guest parking spaces be provided at a ratio of one space per five units. This proposal shows 75 guest parking spaces, which exceeds the minimum requirement. Instead of providing cluster guest parking, the applicant is using on street parking to satisfy the requirement. Additionally, the townhome units that are front-entry units will have two tandem parking spaces in the driveway.

**Table 3. Parking Requirements**

Standard	Appendix W (UDC)	Proposed	Compliance
2 Garage Parking spaces per unit (2 or more bedrooms)	95 units-190	95 units-190	Yes
Guest Parking Spaces -1 per 5 units	19	75	Yes

### *Landscape and Screening*

The development will meet the requirements of Appendix W for landscaping and screening. The concept plan illustrates an 8-ft. masonry screening wall around the entire development and includes 25 percent of open space.

**Table 4. Townhome Landscape Summary**

Standard	Appendix W (UDC)	Required	Proposed	Compliance
Lots = or < 5,000 Sq. Ft. 3-inch Caliper Tree	1 front / 1 choice	94/94	94/94	Yes
Lots > 5,000 Sq. Ft. 3-inch Caliper Tree	1 front / 2 choice	1/2	1/2	Yes
Overall Site	1 per 500 Sq. Ft.	131	131	Yes
Total Trees	-	322	322	Yes
Shrubs (gallons)	30 Gallons of Shrubs Per Lot	2,850	4,695	Yes

**ANALYSIS:**

The exterior building materials of the townhomes are brick and fiber cement siding, with stucco accents. Design elements include change in colors and materials, horizontal and vertical articulation. The proposed building elevations meet Appendix W recommendations.

The development includes two- and three-story units with balconies. The number of units per building varies from one to eleven. The approved Concept Plan depicts units with a hip roofline with two-story front-loading garages being recessed. The elevations submitted with the Site Plan propose a gable roofline with protruding garages. The proposed elevations deviate from the elevations that were approved with the zoning request.

**VARIANCES:**

The applicant is not requesting any variances.

**RECOMMENDATION:**

- On May 9, 2022, the Planning and Zoning Commission recommended approval of the request by a vote of 7-0.
- Staff generally supports the request but notes the townhome elevations are inconsistent with the original conceptual townhome elevations.



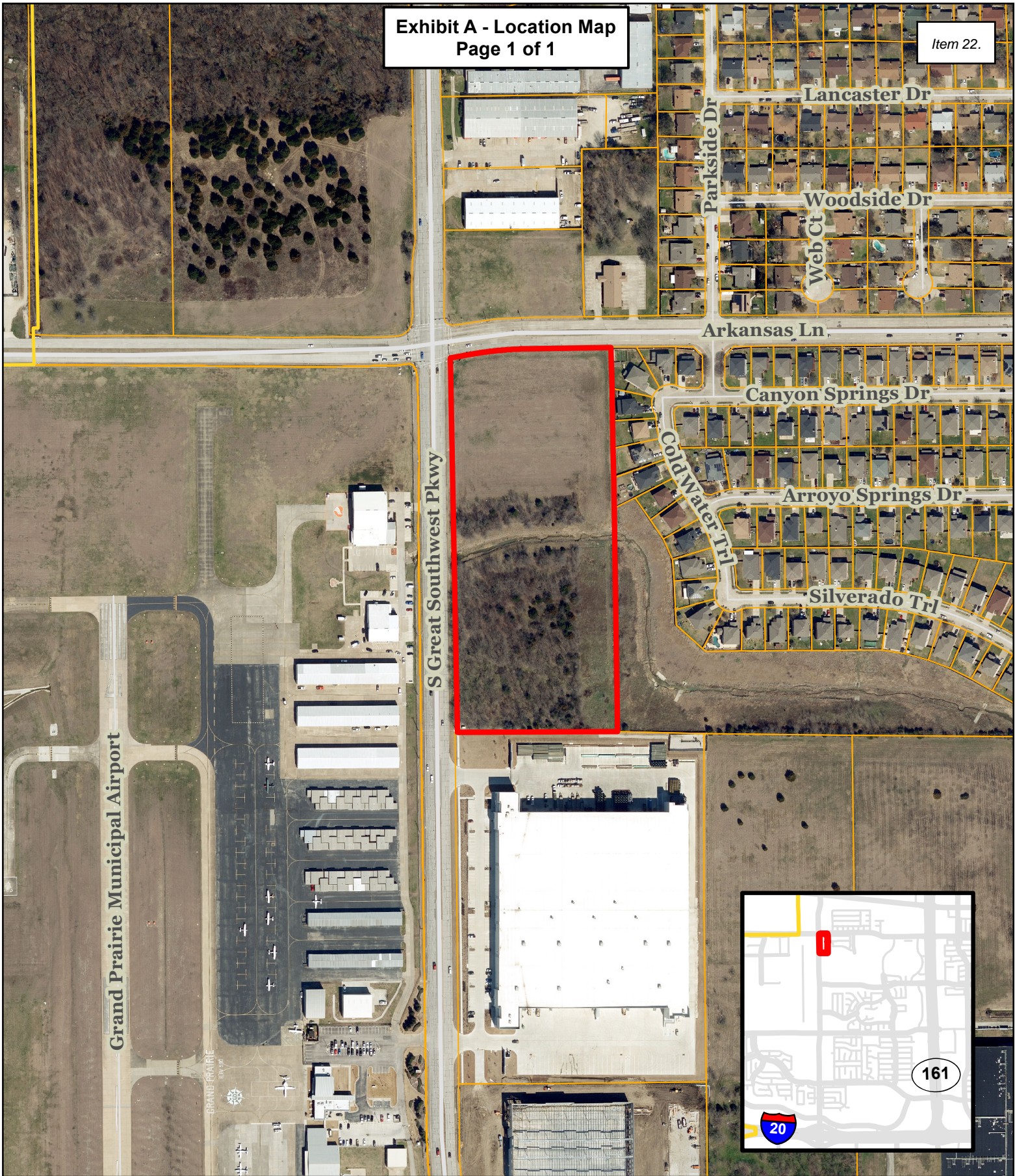
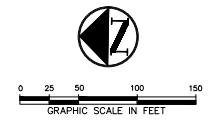
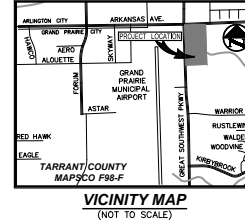


Exhibit B - Site Plan  
Page 1 of 1

COLD WATER TRAIL  
(10' RIGHT-OF-WAY)



- LEGEND**
- BOLLARD
  - ELECTRIC METER
  - POWER POLE
  - LIGHT STANDARD
  - WATER METER
  - WATER VALVE
  - IRRIGATION CONTROL VALVE
  - FIRE HYDRANT
  - PROP. HOOD
  - CLEANOUT
  - MANHOLE
  - TRAFFIC SIGNAL CONTROL
  - TRAFFIC SIGNAL POLE
  - TELEPHONE BOX
  - FLOOD LIGHT
  - FLAG POLE
  - TRAFFIC SIGN
  - W/ 12'-18" IRON ROD
  - W/ "PACHECO KOCH" CAP SET
  - CONTROLLING MONUMENT
  - PROPERTY LINE
  - FENCE
  - COORDINATE DESIGNATION
  - REFER SHEET C1.0
  - PROPOSED FENCE
  - EXISTING MET LANDS
  - PROPOSED 100 YEAR FLOOD PLAN
  - FIRE LANE

**DEVELOPER**  
HAMILTON PECK  
HAMILTON COMMERCIAL, LLC  
1600 EAST PIONEER PARKWAY, SUITE 550  
AUSTIN, TEXAS 76010  
TX REG. ENGINEERING FIRM #469  
P: 972-661-9775  
E: HAMILTON@HAMILTONCOMMERCIALTX.COM

**ENGINEER**  
TATE BRAUN, P.E.  
PACHECO KOCH CONSULTING ENGINEERS, INC.  
7557 RAMBLER RD. #1400  
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TX REG. ENGINEERING FIRM #469  
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**PRELIMINARY  
NOT FOR CONSTRUCTION**

THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.

PLANS PREPARED UNDER THE DIRECT SUPERVISION OF TATE B. BRAUN, P.E. TEXAS REGISTRATION NO. 13167 DATE 05/02/2022

ALL DIMENSIONS ARE TO FACE-OF-CURB UNLESS OTHERWISE NOTED

CASE NO. STP-21-11-0013

**ISSUED FOR PRELIMINARY PRICING PURPOSES ONLY**  
(SUBJECT TO REVISION PRIOR TO CONSTRUCTION)

THESE DOCUMENTS HAVE BEEN PREPARED BY THE ENGINEER WITH THE INTENT OF COMPLYING WITH ALL CITY STANDARD REQUIREMENTS. THESE DOCUMENTS HAVE NOT BEEN APPROVED AND RELEASED FOR CONSTRUCTION BY THE CITY OF GRAND PRAIRIE AND THEREFORE NO PERMITS MAY BE OBTAINED PRIOR TO CONSTRUCTION. BY ANY USE OF THESE DOCUMENTS, THE USER AFFIRMS THEIR UNDERSTANDING OF THE PRELIMINARY STATUS OF THE PLANS AND THE POTENTIAL FOR REVISION PRIOR TO ANY CONSTRUCTION.

NO. DATE REVISION

**Pacheco Koch** 7557 RAMBLER ROAD SUITE 1400 DALLAS, TX 75231 972.235.3031 TX REG. ENGINEERING FIRM #469 TX REG. SURVEYING FIRM LS-10058000

**SITE PLAN**  
**GREAT SOUTHWEST TOWNHOMES**  
**CONCEPT PACKAGE**

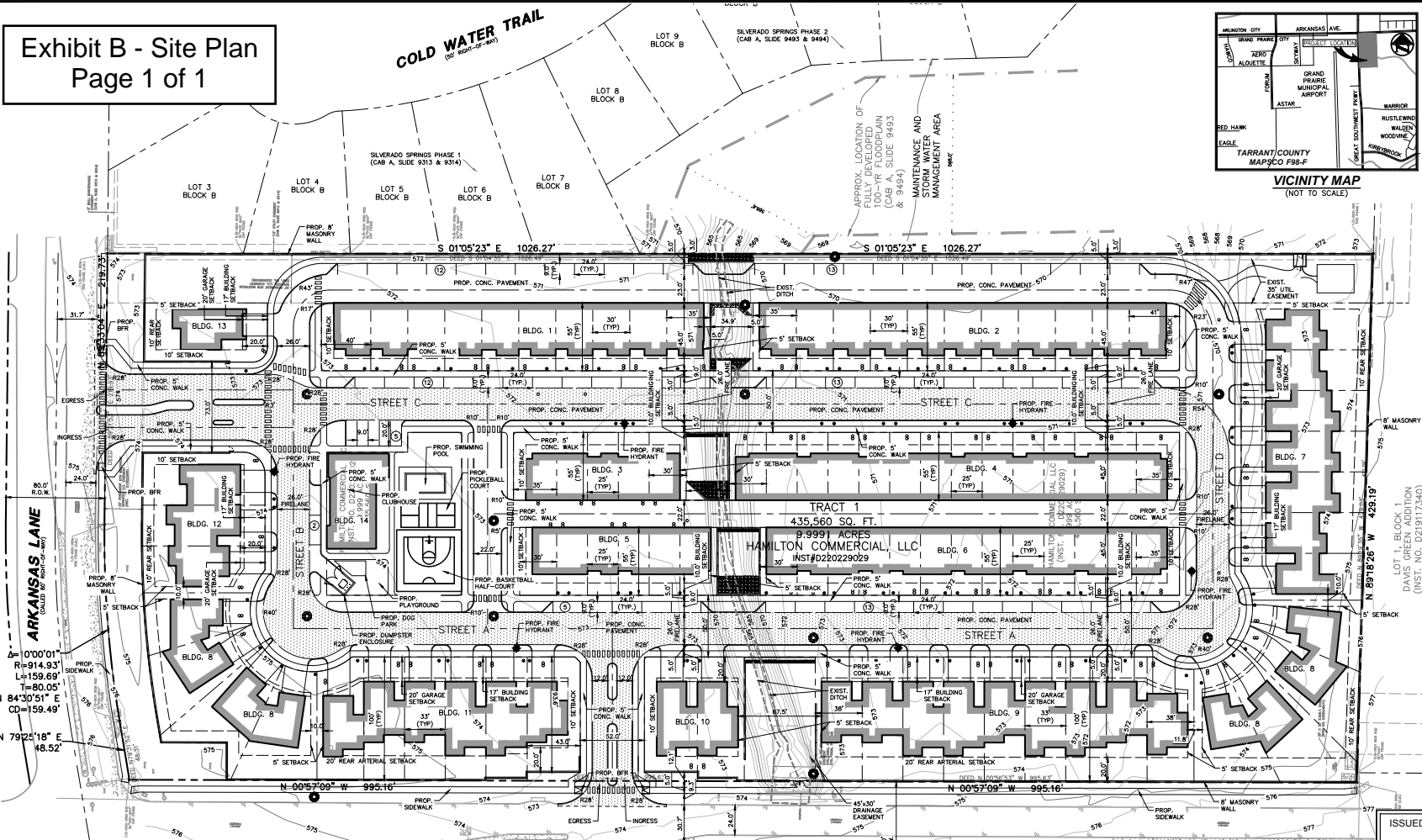
**2801 S. GREAT SOUTHWEST**  
**CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS**

DESIGN DRAWN DATE SCALE NOTES

TBB NNO MAY 2022 1"=50'

74

SP.1



**BUILDING SCHEDULE**

Building ID	Number of Units	Building SF	Gross SF	Number of Floors	Height
1	10	14,874	16,789	2	33'
2	11	16,337	18,457	2	33'
3	5	6,787	9,912	3	43'
4	14	24,670	27,822	3	43'
5	6	10,461	11,805	3	43'
6	13	22,792	25,710	3	43'
7	7	14,435	16,030	2	34'
8	8	5,971	4,212	2	32'
9	9	18,583	20,826	2	34'
10	2	6,139	6,819	2	34'
11	6	12,278	13,638	2	34'
12	3	3,671	4,212	2	35'
13	1	6,139	6,819	2	35'
14	0	2,157	2,392	2	23'
<b>Total</b>	<b>95</b>				

**DENSITY AND DIMENSIONAL REQUIREMENTS**

Standard	PD-421 or Article 6 Density & Dim. (SF-Townhouses)	Proposed	Meets
Max. Density (DUA)	9.2	9.5	Yes (Variance)
Min. Living Area (Sq. Ft.)	1,150 to 1,299 + 30% (Max.) or + 1,200 + 70% (Min.)	= or + 1,300 + 100%	Yes
Min. Lot Area (Sq Ft.)	1,680.3-299 + 61% (Max.) or + 3,300 + 35% (Min.)	1,375-3,299 + 62 Lots (60.6%) or + 3,300 + 40 Lots (39.2%)	Yes (Variance)
Min. Lot Width (Ft.)	21'-29" + 31% (Max.) or + 30" + 69% (Min.)	25'-29" + 30 Lots (29.4%) or + 30" + 72 Lots (70.6%)	Yes (Variance)
Min. Lot Depth (Ft.)	80'-69" + 69% (Max.) or + 100 + 32% (Min.)	55'-69" + 63 Lots (61.6%) or + 100 + 39 Lots (38.2%)	Yes (Variance)
Min. Front Yard Setback (Ft.)	10	17 & 10	Yes (Variance)
Min. Rear Yard Setback (Ft.)	10	10	Yes
Min. Garage Setback-front and back (Ft.)	0	20 & 0	Yes (Variance)
Rear Alley Setback (Ft.)	0	10 & 0	Yes (Variance)
Min. Int. Side-Not Attached (Ft.)	5	5	Yes
Min. Int. Side-Attached (Ft.) (Includes Accessory Structure)	0	0	Yes
Min. Side-Street (Ft.)	10	10	Yes
Max. Height (Ft.)	35 (3 Stories)	35 (3 Stories)	Yes
Max. Lot Coverage (%)	72%	71.60%	Yes

\*Variances approved by city council

**LOT DATA**

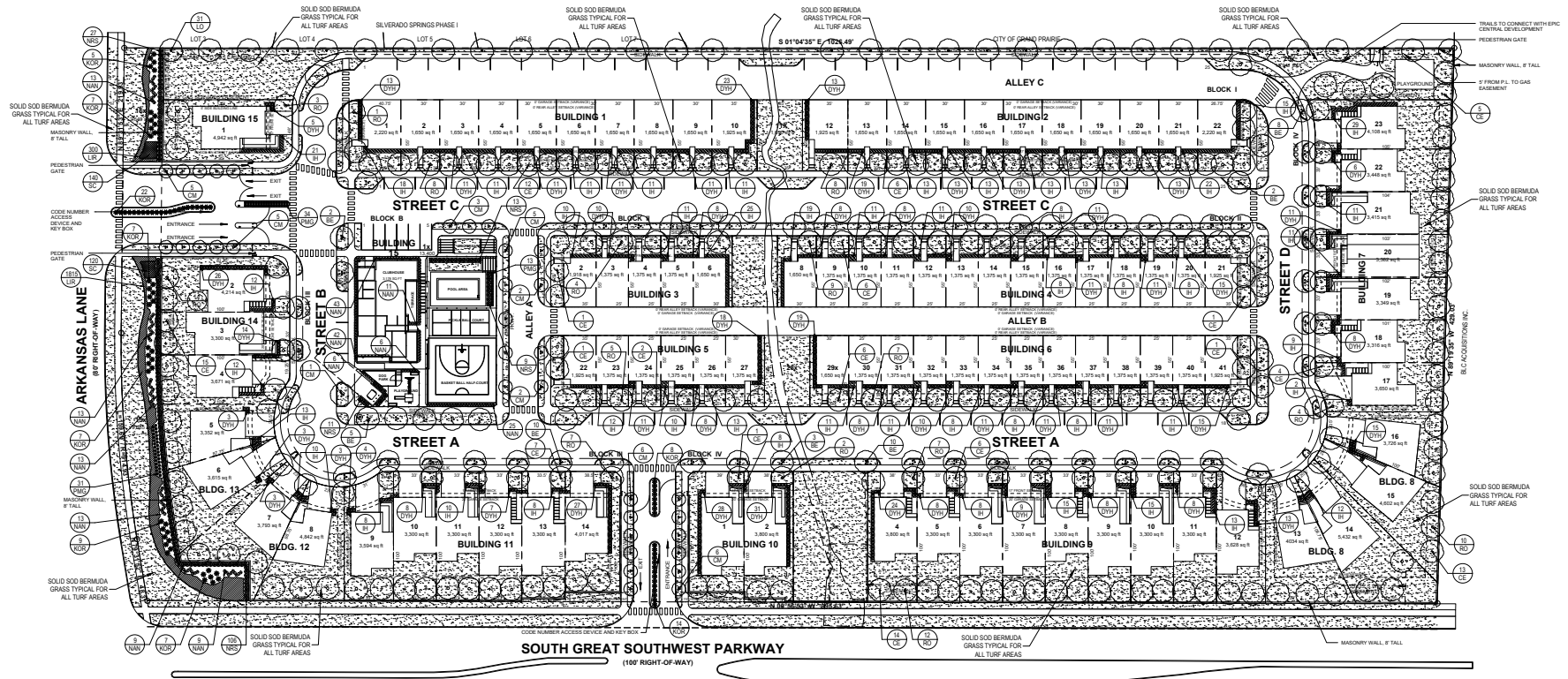
Location	Tract 1
Zoning	Planned Development District No. PD-421
Use	Single-Family - Townhouse
Site Area	10 AC. (435,600 S.F.)
Site Coverage	116,383 S.F. (26.72%)
Impervious Area	311,890 S.F. (71.6%)

**PROVIDED PARKING DATA**

Type of Parking	Amount
Street Parking	75
Townhome Garage	190
Total	265

# Exhibit C - Landscape Plan Page 1 of 2

Item 22.



LANDSCAPE ARCHITECT  
TIZ W. WALKER, P.E.  
ALLEN, TEXAS 75013  
(409) 369-4449  
CHRIS@STUDIOGREENSPOT.COM



**GREAT SOUTHWEST  
TOWN HOME PROJECT**  
 2801 GREAT SOUTHWEST PARKWAY  
 GRAND PRAIRIE, TEXAS  
 DALLAS COUNTY, TEXAS 75052

**GENERAL LAWN NOTES**

1. FINE GRADE AREAS TO ACHIEVE FINL CONTOURS INDICATED ON CIVIL PLANS.
2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH SITE CONSTRUCTION MANAGER.
4. IMPORTED TOPSOIL SHALL BE NATURAL, FRANKLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LIMES, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TOURNOIN IN COLOR.
5. ALL LAWN AREAS TO BE FINE GRADED. IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
6. ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPELDS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
7. CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

**SOLID SOD NOTES**

1. FINE GRADE AREAS TO RECEIVE FINL CONTOURS INDICATED LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 7" BELOW FINAL GRADE IN TURF AREAS.
2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
4. CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
5. PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INCLUDE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
6. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. FREE FROM UNNATURAL UNDULATIONS.
7. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
8. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOISTURE, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
9. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
10. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE COVER SEEDED WITH WINTER PRINCIAS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

**LANDSCAPE NOTES**

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
4. CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
5. ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
6. ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
7. ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

**LANDSCAPE TABULATIONS**

LANDSCAPE AREA REQUIREMENT  
SINGLE FAMILY DEVELOPMENTS MUST PROVIDED LANDSCAPE AREA FOR AT LEAST 15% OF THE OVERALL SITE

LOT SIZE: 435,798 SF

REQUIRED:	PROVIDED:
65,370 (15%)	110,236 (25%)

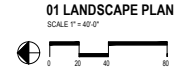
**TABLE 4 - TOWNHOME LANDSCAPE SUMMARY**

STANDARD	APPENDIX W	REQUIRED	PROVIDED	COMPLIANCE
LOTS + or + 5,000 SQ. FT. 3/4" CALIPER TREE	1 FRONT / 1 CHOICE (84 LOTS)	84 FRONT / 84 CHOICE TREES	84 FRONT / 84 CHOICE TREES	YES
LOTS + 5,000 SQ. FT. 3/4" CALIPER TREE (1 LOT)	1 FRONT / 2 CHOICE (1 LOT)	1 FRONT / 2 CHOICE TREES	1 FRONT / 2 CHOICE TREES	YES
OVERALL SITE TREES	1 PER 80 SQ. FT. OF REQUIRED LANDSCAPE AREA (65,370 SQ. FT. (15%))	131 TREES	131 TREES	YES
STREET TREES (COUNT FOR OVERALL SITE TREES)	1 PER 80 LF (2,807 LF)	40 TREES	40 TREES	YES
TOTAL TREES		322 TREES	322 TREES	YES
SHRUBS (GALLONS)	30 GALLONS OF SHRUBS PER LOT	2,850 GALLONS OF SHRUBS	4,689 GALLONS OF SHRUBS	YES

**PLANT MATERIAL SCHEDULE**

TREES	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	BE	71	Bonnie Elm	Ulmus parviflora 'Bonnie'	3" cal.	container; 12" H., 5" spread; 6" clear straight trunk
	CE	113	Cedar Elm	Ulmus crassifolia	3" cal.	container; 8" H., multi-trunk, 3 or 5 trunks; 4" spread
	CM	34	Crape Myrtle	Lagerstroemia indica	3" cal.	container; 12" H., 5" spread; 4" clear straight trunk
	LO	31	Live Oak	Quercus virginiana	3" cal.	container; 12" H., 5" spread; 4" clear straight trunk
	RO	107	Red Oak	Quercus rubra	3" cal.	container; 12" H., 5" spread; 6" clear straight trunk
SHRUBS	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	DYH	653	Dwarf Yaupon Holly	Ilex vomitoria	5 gal.	container; 20" H., 20" spread
	BA	586	Indian Hawthorn	Rhodaphys indica	5 gal.	container; 20" H., 20" spread
	HAN	303	China Nandina	Ilex vomitoria indica	5 gal.	container; 24" H., 20" spread
	NRS	132	Nellie R. Stevens Holly	Ilex + Nellie R. Stevens'	7 gal.	container; 30" H., 24" spread
	PMS	78	Pink Margery Holly	Mullebergia capitata	5 gal.	container; 24" H., 20" spread
GROUNDCOVERS	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	LIR	2,115	Big Blue Liriope	Liriope muscarifolia 'Big Blue'	4" pots	container full, well rooted
	SC	200	Seasonal Color V19 Bermuda Grass	Cynodon dactylon 'V19'	4" pots	container full, well rooted Solid Sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees are to be measured at Diameter Breast Height (DBH). Trees to have straight trunks and be matching within varieties.



Case No. STP-22-03-0019

ISSUE:  
FOR APPROVAL: 03/28/2022  
CITY COMMENTS: 04/21/2022

DATE:  
04/21/2022

SHEET NAME:  
LANDSCAPE PLAN

SHEET NUMBER:  
L.1

# Exhibit C - Landscape Plan

## Page 2 of 2

### SECTION 02000 - LANDSCAPE

**PART 1 - GENERAL**  
**1.1 REFERENCE DOCUMENTS**  
 Refer to bidding requirements, special provisions, and schedules for additional requirements.  
**1.2 DESCRIPTION OF WORK**  
 Work include: Furnish all supervision, labor, materials, services, equipment and supplies necessary to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting trees, shrubs, and grasses
2. Soil preparation and fertilization
3. Irrigation of areas
4. Water and Maintenance until final acceptance
5. Guarantee

**1.3 REFERENCE STANDARDS**  
 A. American Standard for Nursery Stock published by American Association of Nurserymen 27 October 1990, Edition, by American National Standards Institute, Inc. (2001) - plant material  
 B. American Joint Committee on Horticultural Nomenclature: 194C Edition of Standardized Plant Names  
 C. Texas Association of Nurserymen, Grades and Standards  
 D. Hortia Third, 1976 - Cornell University

**1.4 NOTIFICATION OF SOURCES AND SUBMITTALS**  
 A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the source of plant materials and bed preparation required for the project.  
 B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.  
 C. Product Data: Submit complete product data and specifications on all other specified materials.  
 D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants to Architect for approval. Samples to be labeled and maintain an representative samples for final installed plant materials.  
 E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.  
 F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

### PART 3 - EXECUTION

**3.1 BED PREPARATION & FERTILIZATION**

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.  
 B. All planting areas shall be conditioned as follows:  
 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. To existing soil to a depth of six (6) inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6) inches of compost and fill with a depth of six (6) inches of the topsoil. Apply organic fertilizer such as Sudac or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.  
 2. All planting areas shall receive a two (2) inch layer of specified mulch. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, catchalls, supports, etc. placed in three (3) inch layers and watered in thoroughly.  
 C. Grass Areas:  
 1. Areas to be Soid Sod Bermudagrass: Blocks of sod should be laid joint to joint (tapped joints) after flattening the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are visibly gaped open, then rewatered thoroughly.  
 2. Areas to be Hybrid Couch Bermudagrass: Hybrid couch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4" x 8" roller across the bed areas.

**3.2 INSTALLATION**  
 A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until construction has been satisfactorily accomplished.  
 B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Bales of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.  
 C. Position the trees and shrubs in their intended location per plan.  
 D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.  
 E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without the sides or bottom of the pit being disturbed. Each depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

**3.3 CLEANUP AND COMPLETION**  
 A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each day work.

**END OF SECTION**

### JOB CONDITIONS

- A. General Contractor to complete the following punch list. Prior to Landscape Contractor installing any portion of landscape installation. General Contractor shall leave planting bed areas three (3) inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All tree areas to be installed shall be left one (1) inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning work.  
 B. General Contractor shall provide topsoil as described in Section 02000 - Earthwork.  
 C. Storage of materials and equipment at the job site shall be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

### 1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:  
 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage condition.  
 2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, clearing up and all other work necessary of maintenance.  
 3. A written notice requesting final inspection and acceptance shall be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.  
 4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

### B. Guarantee

1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace any dead plants as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died or lost shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the contract of the Owner shall be final.  
 a. Plants used for replacement shall be of the same size and kind as those originally specified and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including loss in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.  
 b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
2. When plant replacements are made, plants, soil, fertilizer and mulch are to be applied as originally specified and inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
3. The above guarantee shall not apply where plants are lost acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. In this time, the Owner will assume maintenance on the accepted work.
- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, whether permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and work to make such repairs at the expense of the Landscape Contractor.

### 1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and local government landscaping materials and work.  
 B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.  
 C. Selection of Plant Material:  
 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and buy materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.  
 2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.  
 3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/size, size and quality.  
 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, fungus, and other defects.  
 5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

### 1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:  
 1. Bark and Barkless (B&L) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and bark development.  
 2. Container Growth Plants: Deliver plants in rigid container to hold ball shape and protect root balls.

### 2.2 SOIL PREPARATION MATERIALS

- A. Delivery:  
 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Fertilizer materials from deterioration during delivery and while stored at site.  
 2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.  
 3. Protect root balls by heaving with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.  
 4. Protect plants during heaving with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.  
 5. Justly Acheived of delivery within 72 hours in advance so plant material may be observed upon arrival at job site.  
 6. Remove rejected plant material immediately from site.  
 7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants or trees on site.

### PART 3 - PRODUCTS

#### 2.1 PLANTS

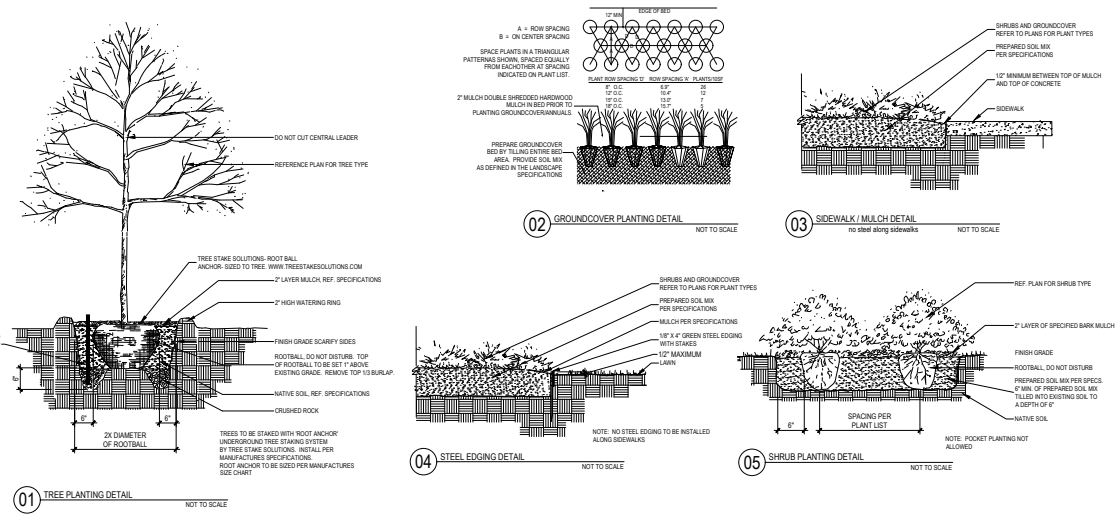
- A. General: Well formed No. 1 grade or better nursery grown stock. Listed plant heights are from top of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually acceptable to the Architect and his decision as to their acceptability shall be final.  
 B. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as being as is shown and called for on both. The plant schedule is an aid to identify only. Confirm all quantities on plan.  
 C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaded, full branched and well rooted. The plants shall be free from fungus, insects, diseases, parasites to the bark or roots, broken branches, objectionable distortions, insect eggs and larvae and to be of specimen quality.  
 D. Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any other way, badly shaped, or undrained conditions, will be rejected by the Landscape Architect, either before or after identifying, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.  
 E. Trees shall be healthy, adequately watered, well-shaded and meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree whose trunk is split or broken at all time of planting will be rejected. Balls shall be less than 1/2" more in diameter for each one (1) inch of trunk diameter. Measure and (2) inches above ball.  
 F. "Multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter. "Multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.  
 F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at an additional cost to the Owner.

### 2.1 PLANTS

- A. Sandy Loam:  
 1. Fertilite, fertis, dark sandy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam composed of half grass and half grasses shall be rejected.  
 2. Physical properties as follows:  
   Clay - between 15-27 percent  
   Silt - between 15-25 percent  
   Sand - between 57-60 percent  
 3. Organic matter shall be 3%-10% of total dry weight.  
 4. If required, provide a certified analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.  
 B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.  
 C. Premixed Bedding Soil as supplied by V&H Earth Resources, Grovetown, Texas; Professional Bedding Soil as supplied by Living Earth Nursery, Dallas, Texas or Acid Ground Mix as supplied by Soil Blending Systems, Dallas, Texas or approved equal.  
 D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.  
 E. Mulch: Double Dressed Bermudagrass, partially decomposed, clean brown. Living Earth Technologies or approved equal.  
 F. Organic Fertilizer: Fertilid, Sudac, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.  
 A. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organics (NCO or UFI) with a minimum 8% sulfur and 4% iron, plus microelements.  
 B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

### 2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: Shall be polymer "Estate Curing", 1/8" x 4" with stakes 4" on center.  
 B. Staking Material for Shade Trees:  
 1. Post: Studtek T Post, #1 Armo with anchor plate, 6'-0" length; paint green.  
 2. Yoke: 12 gauge single strand galvanized wire.  
 3. Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.  
 C. Gravel: Washed net one (1) inch gravel, #30/1 1/2 in 1/2 in.  
 D. Fibre Fabric: Mafat 140N by Calmar Fibers-Marketing Company, available at Lufftand Co., (214) 631-0250 or approved equal.



Item 22.

LANDSCAPE ARCHITECT  
 TRIC W. WILSON/STETTIN  
 ALLEN, TEXAS 75013  
 (409) 368-4444  
 CHRIS@STUDIOGREENSPOT.COM



**GREAT SOUTHWEST TOWN HOME PROJECT**  
 2801 GREAT SOUTHWEST PARKWAY  
 GRAND PRAIRIE, TEXAS  
 DALLAS COUNTY, TEXAS 75052

**ISSUE:**  
 FOR APPROVAL 03.28.2022

**DATE:**  
 03.25.2022

**SHEET NAME:**  
 LANDSCAPE SPECIFICATIONS

**SHEET NUMBER:**  
 L.2

# GREAT SOUTHWEST TOWNHOME Item 22.

Exhibit D - Building Elevations  
Page 1 of 17

2801 S. GREAT SOUTHWEST PARKWAY  
GRAND PRAIRIE, TX 75052



INDEX - SPR	
00-General	
SPR-1	SITE PLAN
01-Civil	
CS-1.1	CONCEPT PLAN GRADING PLAN
CS-1	CONCEPT STORM SEWER PLAN
CS-1	CONCEPT UTILITY PLAN
02-Landscaping	
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE SPECIFICATIONS
03-Architectural	
A1.1	SITE PLAN
A1.2	SITE PLAN DETAILS
A2.1	BLDG 1 - PRELIMINARY EXT ELEVATIONS
A2.2	BLDG 2 - PRELIMINARY EXT ELEVATIONS
A2.3	BLDG 3 - PRELIMINARY EXT ELEVATIONS
A2.5	BLDG 5 - PRELIMINARY EXT ELEVATIONS
A2.4	BLDG 4 - PRELIMINARY EXT ELEVATIONS
A2.6	BLDG 6 - PRELIMINARY EXT ELEVATIONS
A2.7	BLDG 7 - PRELIMINARY EXT ELEVATIONS
A2.8	BLDG 8 & 10 - PRELIMINARY EXT ELEVATIONS
A2.9	BLDG 9 - PRELIMINARY EXT ELEVATIONS
A2.10	BLDG 11 - PRELIMINARY EXT ELEVATIONS
A2.11	BLDG 12 & 13 - PRELIMINARY EXT ELEVATIONS
A2.12	CLUB HOUSE - PRELIMINARY ELEVATIONS
A3.1	TOWNHOUSE PERSPECTIVE
A3.2	TOWNHOUSE PERSPECTIVE

CASE NUMBER: **STP-22-03-0019**  
 LEGAL DESCRIPTION:  
 BEING A TRACT OF LAND SITUATED IN THE W.M. THOMPSON SURVEY, ABSTRACT NO. 1558,  
 CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS  
 TOTAL ACREAGE: 10 ACRES  
 CITY, STATE AND COUNTY: GRAND PRAIRIE, TX, TARRANT COUNTY

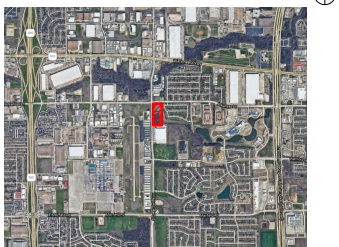


211 N. FLORENCE, SUITE 204  
 EL PASO, TX 79901  
 TEL: (915) 533-0323  
 FAX: (915) 533-0332  
 WWW.EXIGOARCH.COM

BMS-JOB-0206 - South West Townhomes/Grand Prairie Townhomes.rvt  
 SHEET: 24'X36' - 4/22/2022 11:00:40 AM

THE DOCUMENTS HEREBY REPRESENT THE PLAN AND DESIGN FOR THE PROJECT DESCRIBED HEREIN. THE CLIENT HAS REPRESENTED THAT THE INFORMATION PROVIDED TO THE ARCHITECT IS TRUE AND CORRECT. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT HAS NOT CONDUCTED SURVEYING OR FIELD VERIFICATION OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT HAS NOT CONDUCTED FIELD VERIFICATION OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT HAS NOT CONDUCTED FIELD VERIFICATION OF THE INFORMATION PROVIDED TO THE ARCHITECT.

**VICINITY MAP**



**PROJECT SUMMARY**

**PROJECT OWNER/DEVELOPER:**  
 HAMILTON COMMERCIAL  
 HAMILTON COMMERCIAL TX LLC  
 401 N. PALACE PKWY, STE 200  
 GRAND PRAIRIE, TX 75050  
 PHONE: 972-673-8863  
 hamilton@hamiltoncommercialtx.com

**CONSULTANT:**  
 EXIGO  
 EXIGO ARCHITECTURE  
 211 N. FLORENCE STE. 201-B  
 EL PASO, TX 79901  
 PHONE: 915-490-8800  
 emena@exigoarch.com

**ZONING**

**ZONING JURISDICTION:** City of Grand Prairie  
**ZONING:** C - Commercial  
**PLANNED DEVELOPMENT DISTRICT:** PD-421  
**PERMIT USE:** SF - Townhouse  
**LOT AREA:** 10 ACRES (433,599 SF)  
**BUILDING FOOTPRINT AREA:** 2,67 ACRES (116,383 SF)  
**LOT COVERAGE:** 7.16 ACRES (71.6%)  
**DENSITY:** 9.5 LOTS / ACRE  
**MAXIMUM BUILDING HEIGHT:** ..... 35 Feet (Bottom of structure)

**SETBACKS:**  
 FRONT YARD.....17 & 10 Feet (Variance)  
 MINIMUM REAR YARD.....10 Feet  
 REAR ALLEY.....10 & 0 Feet (Variance)  
 REAR ARTERIAL.....20 Feet  
 INTERIOR SIDE.....10 Feet (Variance)  
 SIDE ON STREET.....10 Feet (Variance)  
 GARAGE DOOR.....20 & 0 Feet (Variance)  
 EXTERIOR FACADE: Stone, Brick, Sliding, Stucco.

**PARKING PROVIDED:**.....263 SPACES  
 (180 PARKING SPACES PER UNIT IN A GARAGE AND 10 GUEST PARKING)

**LANDSCAPING PROVIDED:**.....2.84 ACRES (28.4%)

**APPENDIX W: RESIDENTIAL DEVELOPMENT STANDARDS**

- II. AMENITY AND DESIGN STANDARDS FOR MULTI-FAMILY DEVELOPMENTS**
- F. New multi-family developments shall provide amenities that are of high-quality and of benefit to all residents by providing features from at least two of the following three categories.
- Environmentally-friendly building materials, construction techniques, or other features including but not limited to the following:
    - TIER I.**
      - Landscaping plan that makes use of native, drought resistant plantings not requiring the use of irrigation, in lieu of soil of turf, drought resistant plantings may be combined with coordinated hardscaped high design quality and appearance for the purposes of meeting Tier I requirements. See landscape dwgs.
    - TIER II.**
      - Integration of commercial/retail/office space or live-work units.
      - Walking/jogging trails within the development. Where possible, trails should utilize existing natural areas and provide linkages to existing or future area trail networks.
    - TIER III.**
      - LED or low-wattage lighting.
      - Bicycle parking.
      - Outdoor recreation spaces with communal features such as furniture, landscaping, gardens, televisions, moviescreens, BBQ grills, pergolas, areas for fitness or sports activities, and interactive water features, not including standard unheated swimming pools, which are designed for water conservation or reuse.
  - High-quality features or design including but not limited to the following:
    - TIER I.**
      - Granite countertops or similar in kitchens and bathrooms.
      - Minimum 10 foot ceilings in living areas, kitchen, dining rooms, hallways, bathrooms and bedrooms.
    - TIER II.**
      - Upgraded light fixtures including recessed lighting or indirect lighting.
      - Walk-in closets.
      - Upgraded bathroom and kitchen hardware, including faucets and sinks.
    - Technology.**
      - Integrated USB ports within all units.
      - WiFi internet access provided to users of common amenities such as clubhouse, pool, walking trails, and fitness area.

**DEVELOPMENT SUMMARY**

Building	Units	Levels	Gross SF	Net SF
<b>BUILDING 1</b> (Townhouses):	Type A ALR - 5 units Type B - 5 units	2 LEVELS	16,722 GROSS SF	14,812 NET SF
<b>BUILDING 2</b> (Townhouses):	Type A ALR - 6 units Type B - 6 units	2 LEVELS	18,425 GROSS SF	16,321 NET SF
<b>BUILDING 3</b> (Townhouses):	Type C CLR - 3 units Type D - 2 units	3 LEVELS	9,912 GROSS SF	8,787 NET SF
<b>BUILDING 4</b> (Townhouses):	Type C CLR - 8 units Type D - 6 units	3 LEVELS	27,822 GROSS SF	24,071 NET SF
<b>BUILDING 5</b> (Townhouses):	Type C CLR - 4 units Type D - 2 units	3 LEVELS	11,805 GROSS SF	10,401 NET SF
<b>BUILDING 6</b> (Townhouses):	Type C CLR - 8 units Type D - 5 units	3 LEVELS	26,710 GROSS SF	22,792 NET SF
<b>BUILDING 7</b> (Townhouses):	Type E - 2 units Type F - 3 units	2 LEVELS	15,852 GROSS SF	14,288 NET SF
<b>BUILDING 8</b> (Townhouses):	Type G - 2 units per bldg.	2 LEVELS	16,846 GROSS SF	14,852 NET SF
<b>BUILDING 9</b> (Townhouses):	Type E - 4 units Type F - 4 units	2 LEVELS	20,638 GROSS SF	18,583 NET SF
<b>BUILDING 10</b> (Townhouses):	Type E - 2 units Type F - 2 units	2 LEVELS	4,785 GROSS SF	4,314 NET SF
<b>BUILDING 11</b> (Townhouses):	Type E - 2 units Type F - 4 units	2 LEVELS	13,638 GROSS SF	12,279 NET SF
<b>BUILDING 12</b> (Townhouses):	Type E - 2 units Type F - 1 units	2 LEVELS	5,996 GROSS SF	6,305 NET SF
<b>BUILDING 13</b> (Townhouses):	Type E - 1 units	2 LEVELS	3,290 GROSS SF	2,157 NET SF
<b>BUILDING 14</b> (Clubhouse):	1 LEVEL	3,122 GROSS SF	2,912 NET SF	
<b>TOTAL PROPOSED TOWNHOUSES:</b>	<b>85 UNITS</b>			

**PROJECT SUMMARY**

**PROJECT NAME:** GREAT SOUTHWEST TOWNHOMES  
**PROJECT ADDRESS:** 2801 S. GREAT SOUTHWEST PARKWAY, GRAND PRAIRIE, TEXAS, 75052  
**TYPE OF CONSTRUCTION:** NEW CONSTRUCTION TOWNHOUSES

**APPLICABLE CODES & REGULATION:**  
 INTERNATIONAL BUILDING CODE 2021  
 INTERNATIONAL PLUMBING CODE 2021  
 INTERNATIONAL ENERGY CONSERVATION CODE 2021  
 INTERNATIONAL RESIDENTIAL CODE 2021  
 TEXAS ACCESSIBILITY STANDARDS (TAS)  
 2021 EDITION  
 ZONING ORDINANCE FOR THE CITY OF GRAND PRAIRIE  
 UNIFIED DEVELOPMENT CODE OF THE CITY OF GRAND PRAIRIE

**FINANCING PROVIDED:**.....263 SPACES  
 (180 PARKING SPACES PER UNIT IN A GARAGE AND 10 GUEST PARKING)

**LANDSCAPING PROVIDED:**.....2.84 ACRES (28.4%)

**Item 22.**

**EXIGO**  
 ARCHITECTURE INSPIRE  
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 www.exigoarch.com

**GREAT SOUTHWEST TOWNHOMES**  
 2801 S. GREAT SOUTHWEST PARKWAY  
 GRAND PRAIRIE, TX 75052

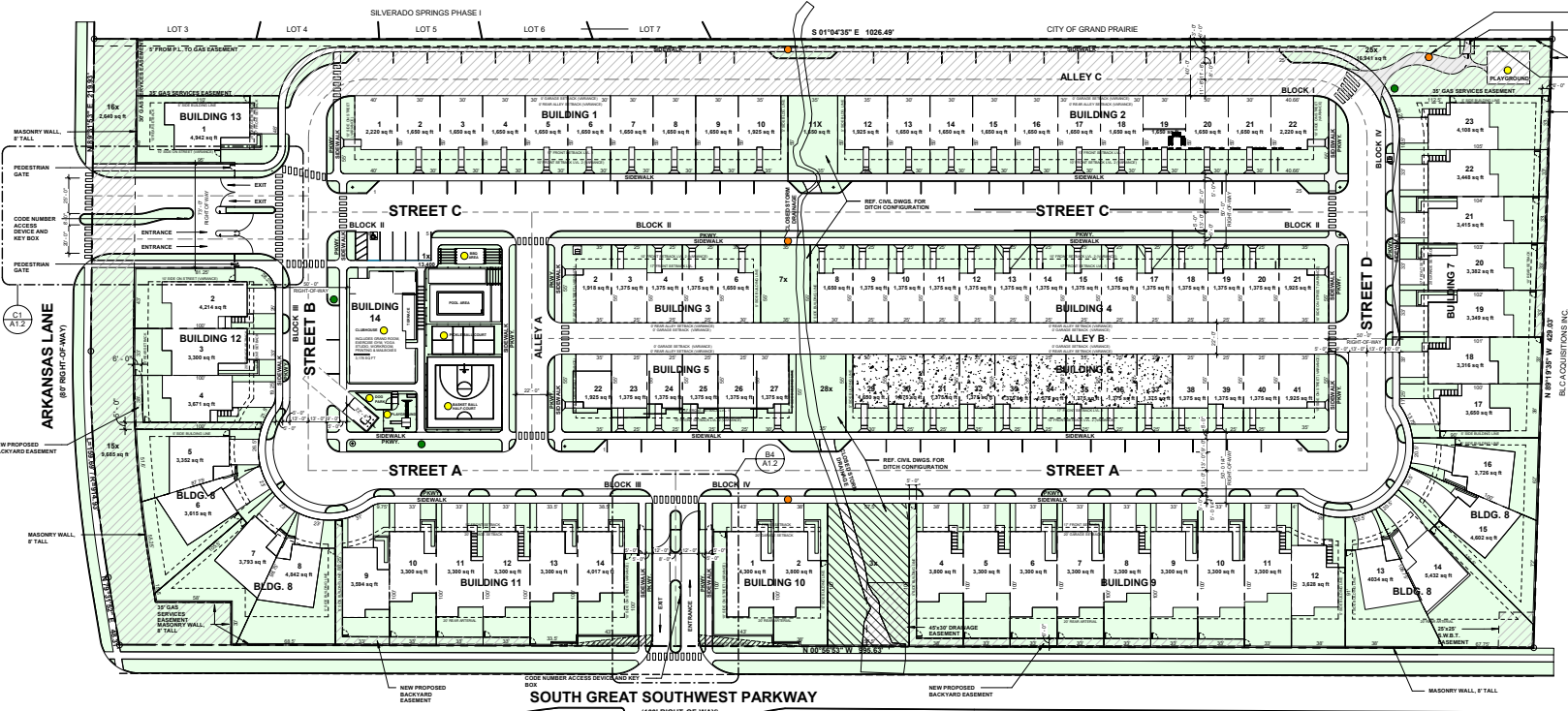
20211700

Consultants:  
 Drawing Date: 03/29/2022  
 Drawn: EL  
 Checked: EM  
 Scale: AS SHOWN

Revisions:  
 No. Description Date

**DRAWING COORDINATION**

ARCHITECTURAL, CIVIL, MECHANICAL,  
 STRUCTURAL, ELECTRICAL, AND  
 LANDSCAPING DRAWINGS ARE  
 INTERRELATED. GENERAL CONTRACTOR  
 AND ALL SUBCONTRACTORS SHALL REVIEW  
 AND COORDINATE THE ENTIRE SET OF  
 DRAWINGS AND PROJECT MANUAL.



**PN**  
**1** **2** **3** **4** **5**

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**CASE NUMBER:** STP-22-03-0019  
**LEGAL DESCRIPTION:** BEING A TRACT OF LAND SITUATED IN THE W.M. THOMPSON SURVEY, ABSTRACT NO. 1558, CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS  
**TOTAL ACREAGE:** 10 ACRES  
**CITY, STATE AND COUNTY:** GRAND PRAIRIE, TX, TARRANT COUNTY

**SITE PLAN**  
**A1.1**

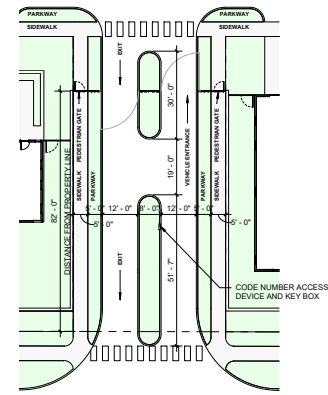
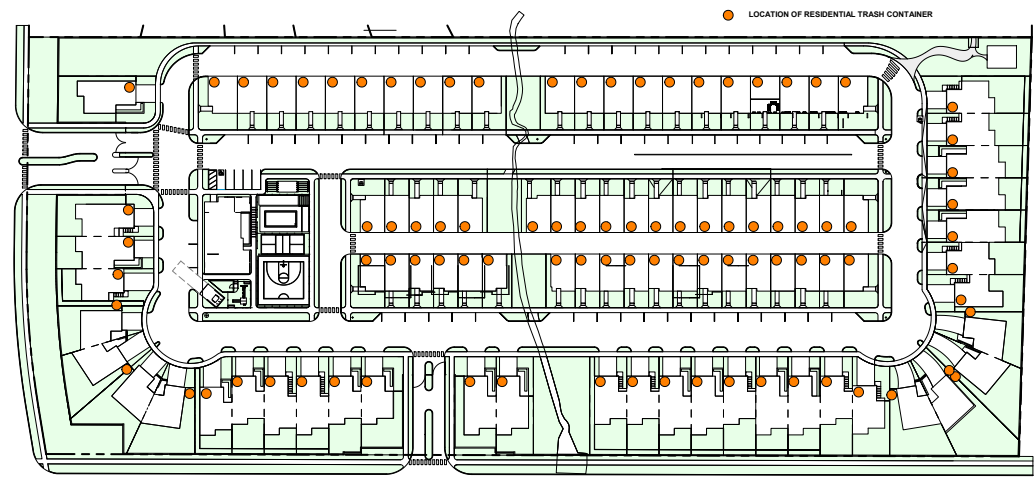
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Revisions:

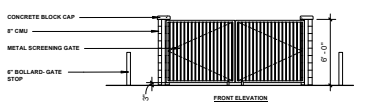
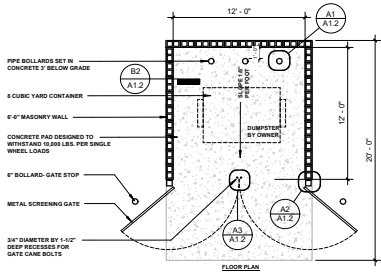
No.	Description	Date

**DRAWING COORDINATION**  
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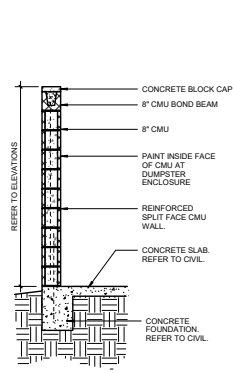


**ENLARGED SITE PLAN - SECONDARY VEHICULAR ACCESS**  
 1" = 20'-0"

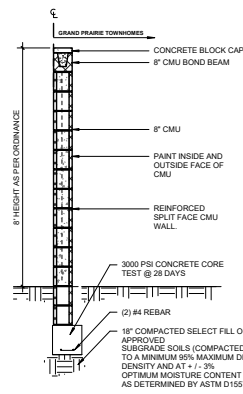
**SITE PLAN - Trash Route**  
 1" = 60'-0"



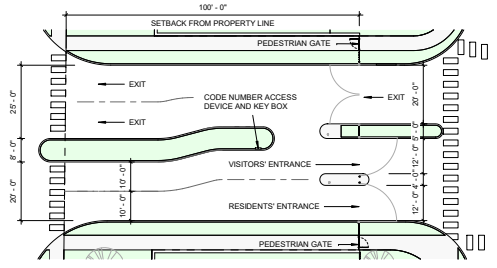
**TRASH ENCLOSURE TYP.**  
 3/16" = 1'-0"



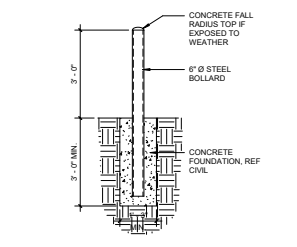
**DUMPSTER WALL DETAIL (TYP)**  
 1/2" = 1'-0"



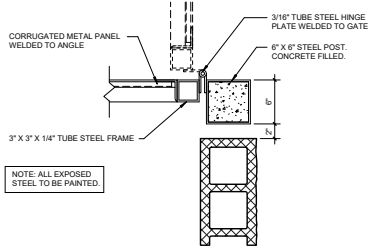
**SCREEN WALL**  
 1/2" = 1'-0"



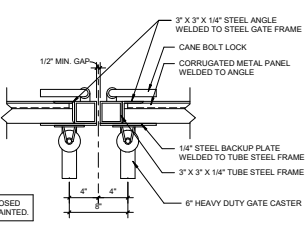
**ENLARGED SITE PLAN - MAIN VEHICULAR ACCESS**  
 1" = 20'-0"



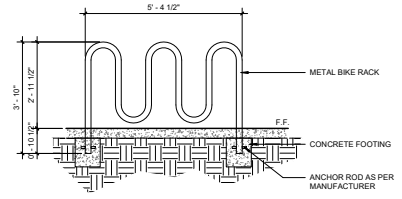
**DUMPSTERS ENCLOSE BOLLARDS**  
 1/2" = 1'-0"



**DUMPSTER GATE JAMB DETAIL**  
 1 1/2" = 1'-0"



**DUMPSTER GATE DETAIL**  
 1 1/2" = 1'-0"



**BICYCLE RACK DETAIL**  
 1/2" = 1'-0"

CASE NUMBER: **STP-22-03-0019**  
 LEGAL DESCRIPTION:  
 BEING A TRACT OF LAND SITUATED IN THE W.M. THOMPSON SURVEY, ABSTRACT NO. 1558,  
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 TOTAL ACREAGE: 10 ACRES  
 CITY, STATE AND COUNTY: GRAND PRAIRIE, TX, TARRANT COUNTY

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EXIG\_ARCH\_SouthWest Townhomes/Client/Prelim Elevation.rvt  
 SHEET: 24'X36" 4/22/2022 11:01:17 AM

**1 APPENDIX W- RESIDENTIAL DEVELOPMENT STANDARDS  
 (SECTION 3 - STANDARDS FOR TOWNHOUSE AND MULTI-FAMILY DEVELOPMENT)**

**1. EXTERIOR DESIGN REQUIREMENTS**

- i. The total surface area of all facades: 17,427 sf.
- ii. The height and percentage tabulations for all exterior wall materials:

WALL	HEIGHTS	TOTAL AREA	EXTERIOR WALLS				
			STUCCO	BRICK	SIDING	GLASS	DOORS
Front	25 ft	7,971 sf	1,923 sf = 24%	2,415 sf = 30%	2,328 sf = 29%	619 sf = 8%	410 sf = 5%
Rear	25 ft	7,700 sf	2,441 sf = 32%		3,293 sf = 43%	450 sf = 6%	1,528 sf = 20%
Left	25 ft	909 sf	302 sf = 33%	172 sf = 19%	350 sf = 39%	85 sf = 9%	
Right	25 ft	847 sf	300 sf = 35%	200 sf = 23%	291 sf = 35%	56 sf = 7%	
<b>Grand Totals</b>		<b>17,427 sf</b>	<b>4,692 sf = 27%</b>	<b>5,019 sf = 29%</b>	<b>4,270 sf = 24%</b>	<b>1,510 sf = 9%</b>	<b>1,936 sf = 11%</b>

- iii. Articulation features proposed for each wall elevation: Refer to Elevations.
- iv. A dashed line indicating the top of roof deck height: Refer to Elevations.
- v. Provide a color pallet, material sample, or rendering of all materials and colors proposed on all building facades: Refer to Color pallet.

**TOWNHOMES**

**ROOF** 

**FASCIA** 

**GLASS** 

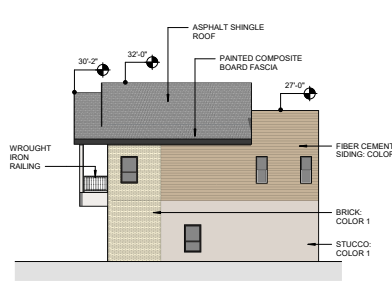
**MULLIONS** 

**STUCCO** 

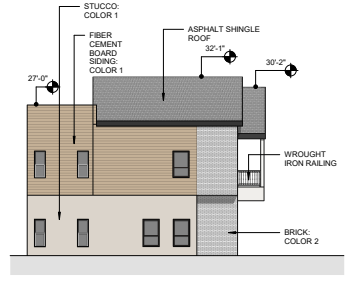
**FIBER CEMENT SIDING** 

**BRICK** 

**WROUGHT IRON** 



**1 BUILDING 1 - RIGHT ELEVATION**  
 3/32" = 1'-0"



**2 BUILDING 1 - LEFT ELEVATION**  
 3/32" = 1'-0"



**3 BUILDING 1 - REAR ELEVATION**  
 3/32" = 1'-0"



**4 BUILDING 1 - FRONT ELEVATION**  
 3/32" = 1'-0"

CASE NUMBER: STP-22-03-0019

**Item 22.**

**EXIG ARCHITECTURE INSPIRE**

211 N. Florence, Ste. 204  
 El Paso, TX 79901

Tel. (915) 533-0323  
 Fax. (915) 533-0332

www.exigarch.com

**GREAT SOUTHWEST TOWNHOMES**

2801 S. GREAT SOUTHWEST PARKWAY  
 GRAND PRAIRIE, TX 75052

20211700

Consultants:



Drawing Date: 03/09/22  
 Drawn: Author  
 Checked: Checker  
 Scale: AS SHOWN

Revisions:

No.	Description	Date

**DRAWING COORDINATION**

ARCHITECTURAL, CIVIL, MECHANICAL, STRUCTURAL, ELECTRICAL, AND LANDSCAPING DRAWINGS ARE INTERRELATED. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW AND COORDINATE THE ENTIRE SET OF DRAWINGS AND PROJECT MANUAL.

**BLDG 1 - PRELIMINARY EXT ELEVATIONS**

**A2.1**



THE DOCUMENTS HEREBY REPRESENT THE DESIGN OF THE PROJECT AND ARE NOT TO BE USED FOR ANY OTHER PROJECT OR PURPOSE. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

**1 APPENDIX W: RESIDENTIAL DEVELOPMENT STANDARDS**  
**(SECTION 3 - STANDARDS FOR TOWNHOUSE AND MULTI-FAMILY DEVELOPMENT)**

**1. EXTERIOR DESIGN REQUIREMENTS**

- i. The total surface area of all facades: 19,009 sqft.
- ii. The height and percentage tabulations for all exterior wall materials:

WALL HEIGHTS	TOTAL AREA	EXTERIOR WALLS				
		STUCCO	BRICK	SIDING	GLASS	DOORS
Front	33 ft. 8,051 sqft	1,935 sqft = 24%	2,003 sqft = 30%	2,001 sqft = 30%	1,045 sqft = 12%	467 sqft = 6%
Rear	25 ft. 8,538 sqft	2,380 sqft = 28%		3,988 sqft = 47%	490 sqft = 6%	1,680 sqft = 20%
Left	25 ft. 953 sqft	221 sqft = 23%	206 sqft = 28%	341 sqft = 35%	125 sqft = 14%	
Right	25 ft. 867 sqft	287 sqft = 33%		531 sqft = 60%	62 sqft = 7%	
Grand Totals	19,009 sqft	5,819 sqft = 31%	4,651 sqft = 24%	4,870 sqft = 25%	1,722 sqft = 9%	2,147 sqft = 11%

- iii. Articulation features proposed for each wall elevation: **Refer to Elevations.**
- iv. A dashed line indicating the top of roof deck height: **Refer to Elevations.**
- v. Provide a color pallet, material sample, or rendering of all materials and colors proposed on all building facades. **Refer to Color pallet.**
- \*. Total calculation indicates same material of two or more contrasting colors. Refer to elevation for individual calculations and locations.

**TOWNHOMES**

**ROOF**  **STUCCO**  

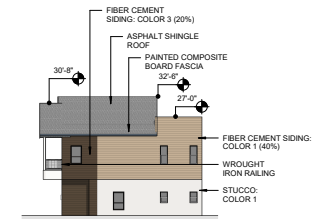
**FASCIA**  **FIBER CEMENT SIDING**  

**GLASS**  **BRICK**    

**MULLIONS**  **WROUGHT IRON** 



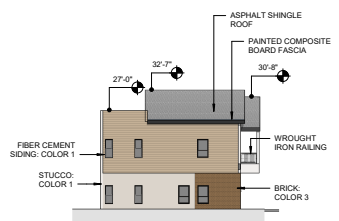
**2 BUILDING 2 - REAR ELEVATION**  
 1/16" = 1'-0"



**4 BUILDING 2 - RIGHT ELEVATION**  
 1/16" = 1'-0"



**1 BUILDING 2 - FRONT ELEVATION**  
 1/16" = 1'-0"



**3 BUILDING 2 - LEFT ELEVATION**  
 1/16" = 1'-0"

**Item 22.**  
  
 ARCHITECTURE INSPIRE  
 211 N. Florence, Ste. 204  
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 Tel. (915) 533-0323  
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 www.exigoarch.com

**GREAT SOUTHWEST TOWNHOMES**  
 2801 S. GREAT SOUTHWEST PARKWAY  
 GRAND PRAIRIE, TX 75052

20211700  
 Consultants:  
  
 03/29/2022  
 Drawing Date: 03/09/22  
 Drawn: Author  
 Checked: Checker  
 Scale: AS SHOWN

Revisions:

No.	Description	Date

**DRAWING COORDINATION**  
 ARCHITECTURAL, CIVIL, MECHANICAL, STRUCTURAL, ELECTRICAL, AND LANDSCAPING DRAWINGS ARE INTERRELATED. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW AND COORDINATE THE ENTIRE SET OF DRAWINGS AND PROJECT MANUAL.

BLDG 2 - PRELIMINARY EXT ELEVATIONS  
**A2.2**

CASE NUMBER: STP-22-03-0019

BMS-JOB-Govind South West Townhomes/Case/Plan/Rev/Sheet/Title.rvt  
 SHEET: 24'X36' 4/22/2022 11:01:24 AM

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**1 APPENDIX W: RESIDENTIAL DEVELOPMENT STANDARDS (SECTION 3 - STANDARDS FOR TOWNHOUSE AND MULTI-FAMILY DEVELOPMENT)**

- 1. EXTERIOR DESIGN REQUIREMENTS**
- i. The total surface area of all facades: 12,016 sf.
  - ii. The height and percentage tabulations for all exterior wall materials:

EXTERIOR WALLS						
WALL	HEIGHTS	TOTAL AREA	STUCCO	BRICK	SIDING	GLASS
Front	35 ft	4,495 sf	1,823 sf = 40%	1,234 sf = 15%	630 sf = 14%	548 sf = 12%
Rear	36 ft	4,885 sf	829 sf = 17%		2,931 sf = 60%	405 sf = 8%
Left	36 ft	1,318 sf	319 sf = 24%	211 sf = 16%	710 sf = 54%	78 sf = 6%
Right	36 ft	1,318 sf	319 sf = 24%	211 sf = 16%	710 sf = 54%	78 sf = 6%
Grand Totals		12,016 sf	5,116 sf = 43%	2,014 sf = 22%	2,157 sf = 18%	1,109 sf = 9%

- iii. Articulation features proposed for each wall elevation: **Refer to Elevations.**
- iv. A dashed line indicating the top of roof deck height: **Refer to Elevations.**
- v. Provide a color pallet, material sample, or rendering of all materials and colors proposed on all building facades. **Refer to Color pallet.**
- \*. Total calculation indicates same material of two or more contrasting colors. Refer to elevation for individual calculations and locations.

**TOWNHOMES**

**ROOF** 

**FASCIA** 

**GLASS** 

**MULLIONS** 

**STUCCO**

COLOR 1  COLOR 2 

**FIBER CEMENT SIDING**

COLOR 1  COLOR 2  COLOR 3 

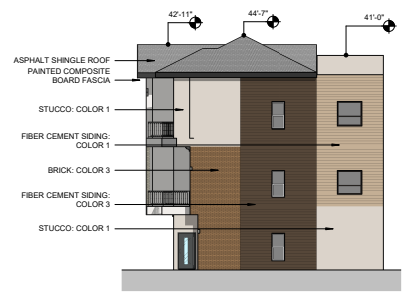
**BRICK**

COLOR 1  COLOR 2  COLOR 3  ACCENT 

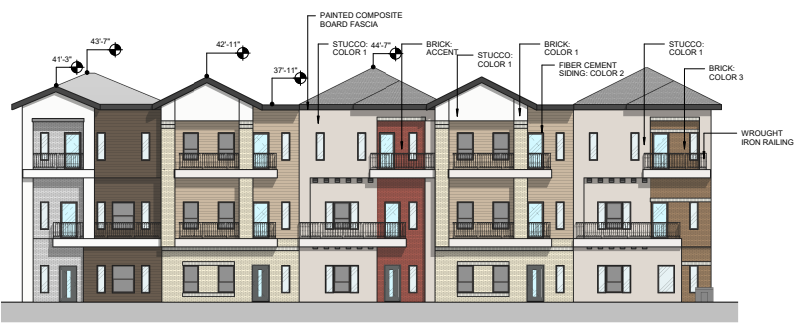
**WROUGHT IRON** 



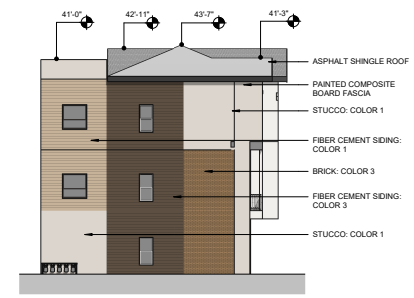
**2 BUILDING 3 - REAR ELEVATION**  
3/32" = 1'-0"



**4 BUILDING 3 - RIGHT ELEVATION**  
3/32" = 1'-0"



**1 BUILDING 3 - FRONT ELEVATION**  
3/32" = 1'-0"



**3 BUILDING 3 - LEFT ELEVATION**  
3/32" = 1'-0"

CASE NUMBER: STP-22-03-0019

**Item 22.**

**EXIG ARCHITECTURE**  
INSPIRE

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www.exigarch.com

**GREAT SOUTHWEST TOWNHOMES**

2801 S. GREAT SOUTHWEST PARKWAY  
GRAND PRAIRIE, TX 75052

20211700

Consultants:



Drawing Date: 03/09/22  
Drawn: Author  
Checked: Checker  
Scale: AS SHOWN

Revisions:

No.	Description	Date

**DRAWING COORDINATION**

ARCHITECTURAL, CIVIL, MECHANICAL, STRUCTURAL, ELECTRICAL, AND LANDSCAPING DRAWINGS ARE INTERRELATED. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW AND COORDINATE THE ENTIRE SET OF DRAWINGS AND PROJECT MANUAL.

BLDG 3 - PRELIMINARY EXT ELEVATIONS  
**A2.3**

BMS-JBC-Grove South West Townhomes/Case/Plan/Exterior/Rev.01  
 SHEET: 24'X36' - 4/22/2022 11:01:30 AM

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**1 APPENDIX W: RESIDENTIAL DEVELOPMENT STANDARDS  
(SECTION 3 - STANDARDS FOR TOWNHOUSE AND MULTI-FAMILY DEVELOPMENT)**

- 1. EXTERIOR DESIGN REQUIREMENTS**
- i. The total surface area of all facades: 29,093 sf.
  - ii. The height and percentage tabulations for all exterior wall materials:

EXTERIOR WALLS							
WALL	HEIGHTS	TOTAL AREA	STUCCO	BRICK	SIDING	GLASS	DOORS
Front	36 ft	12,753 sf	3,884 sf = 29%	3,471 sf = 27%	3,283 sf = 26%	1,535 sf = 12%	820 sf = 6%
Rear	36 ft	13,863 sf	2,323 sf = 17%		8,196 sf = 60%	1,128 sf = 8%	2,018 sf = 15%
Left	36 ft	1,318 sf	319 sf = 24%	211 sf = 16%	710 sf = 54%	78 sf = 6%	20 sf = 1%
Right	36 ft	1,359 sf	570 sf = 42%		711 sf = 52%	78 sf = 6%	
<b>Grand Totals</b>		<b>29,093 sf</b>	<b>11,572 sf = 40%</b>	<b>5,960 sf = 20%</b>	<b>5,886 sf = 20%</b>	<b>2,819 sf = 10%</b>	<b>2,856 sf = 10%</b>

- iii. Articulation features proposed for each wall elevation: **Refer to Elevations.**
- iv. A dashed line indicating the top of roof deck height: **Refer to Elevations.**
- v. Provide a color pallet, material sample, or rendering of all materials and colors proposed on all building facades. **Refer to Color pallet.**

**TOWNHOMES**

**ROOF**

**FASCIA**

**GLASS**

**MULLIONS**

**STUCCO**

COLOR 1 COLOR 2

**FIBER CEMENT SIDING**

COLOR 1 COLOR 2 COLOR 3

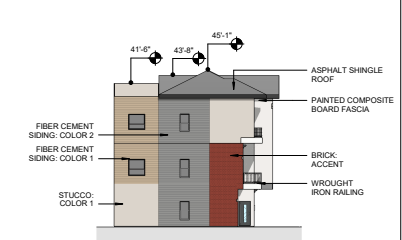
**BRICK**

COLOR 1 COLOR 2 COLOR 3 ACCENT

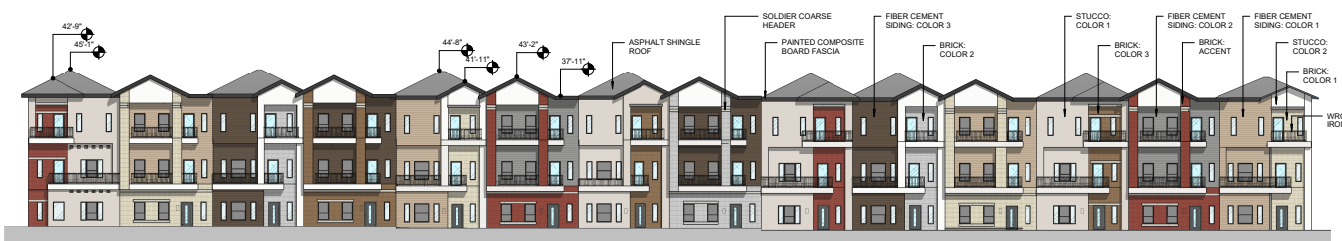
**WROUGHT IRON**



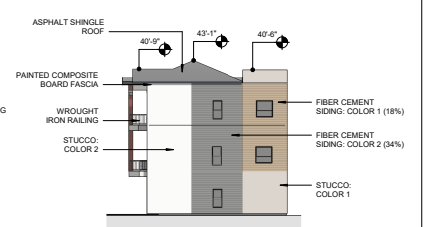
**2 BUILDING 4 - REAR ELEVATION**  
1/16" = 1'-0"



**4 BUILDING 4 - LEFT ELEVATION**  
1/16" = 1'-0"



**1 BUILDING 4 - FRONT ELEVATION**  
1/16" = 1'-0"



**3 BUILDING 4 - RIGHT ELEVATION**  
1/16" = 1'-0"

**Item 22.**

**EXIGO**  
ARCHITECTURE INSPIRE

211 N. Florence, Ste. 204  
El Paso, TX 79901

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Fax. (915) 533-0332

www.exigoarch.com

**GREAT SOUTHWEST TOWNHOMES**

2801 S. GREAT SOUTHWEST PARKWAY  
GRAND PRAIRIE, TX 75052

20211700

Consultants:



Drawing Date: 03/09/22  
Drawn: Author  
Checked: Checker  
Scale: AS SHOWN

Revisions:

No.	Description	Date

**DRAWING COORDINATION**  
ARCHITECTURAL, CIVIL, MECHANICAL, STRUCTURAL, ELECTRICAL, AND LANDSCAPING DRAWINGS ARE INTERRELATED. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW AND COORDINATE THE ENTIRE SET OF DRAWINGS AND PROJECT MANUAL.

BLDG 4 PRELIMINARY EXT ELEVATIONS

**A2.4**

CASE NUMBER: STP-22-03-0019

BMS-JOB-Govind South West Townhomes/Case/Plan/Exterior/01.rvt  
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1 2 3 4 5

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1 APPENDIX W: RESIDENTIAL DEVELOPMENT STANDARDS  
(SECTION 3 - STANDARDS FOR TOWNHOUSE AND MULTI-FAMILY DEVELOPMENT)

1. EXTERIOR DESIGN REQUIREMENTS

- i. The total surface area of all facades: 14,249 sf.
- ii. The height and percentage tabulations for all exterior wall materials:

WALL	HEIGHTS	TOTAL AREA	EXTERIOR WALLS				
			STUCCO	BRICK	SIDING	GLASS	DOORS
Front	35 ft	5,705 sf	2,080 sf = 37%	1,430 sf = 25%	1,000 sf = 18%	895 sf = 15%	340 sf = 5%
Rear	36 ft	5,870 sf	968 sf = 17%		3,531 sf = 60%	507 sf = 9%	864 sf = 14%
Left	38 ft	1,318 sf	430 sf = 33%	330 sf = 25%	460 sf = 35%	78 sf = 6%	20 sf = 1%
Right	36 ft	1,356 sf	511 sf = 37%		782 sf = 58%	63 sf = 5%	
Grand Totals		14,249 sf	3999 sf = 28%	1760 sf = 12%	5,773 sf = 40%	1,493 sf = 11%	1,224 sf = 9%

- iii. Articulation features proposed for each wall elevation: Refer to Elevations.
  - iv. A dashed line indicating the top of roof deck height: Refer to Elevations.
  - v. Provide a color pallet, material sample, or rendering of all materials and colors proposed on all building facades. Refer to Color pallet.
- \*. Total calculation indicates same material of two or more contrasting colors. Refer to elevation for individual calculations and locations.

TOWNHOMES

ROOF: ASPHALT SHINGLE ROOF

FASCIA: PAINTED COMPOSITE BOARD FASCIA

GLASS: WROUGHT IRON RAILING

MULLIONS: WROUGHT IRON RAILING

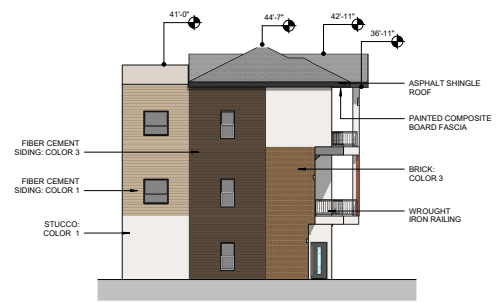
STUCCO: COLOR 1, COLOR 2

FIBER CEMENT SIDING: COLOR 1, COLOR 2, COLOR 3

BRICK: COLOR 1, COLOR 2, COLOR 3, ACCENT



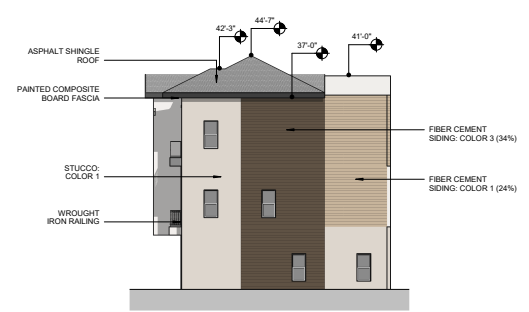
2 BUILDING 5 - REAR ELEVATION  
3/32" = 1'-0"



3 BUILDING 5 - LEFT ELEVATION  
3/32" = 1'-0"



1 BUILDING 5 - FRONT ELEVATION  
3/32" = 1'-0"



4 BUILDING 5 - RIGHT ELEVATION  
3/32" = 1'-0"

Item 22.

ARCHITECTURE INSPIRE

211 N. Florence, Ste. 204  
El Paso, TX 79901

Tel. (915) 533-0323  
Fax. (915) 533-0332

www.exigoarch.com

GREAT SOUTHWEST TOWNHOMES

2801 S. GREAT SOUTHWEST PARKWAY  
GRAND PRAIRIE, TX 75052

20211700

Consultants:



Drawing Date: 03/09/22  
Drawn: Author  
Checked: Checker  
Scale: AS SHOWN

Revisions:

No.	Description	Date
-----	-------------	------

DRAWING COORDINATION

ARCHITECTURAL, CIVIL, MECHANICAL, STRUCTURAL, ELECTRICAL, AND LANDSCAPING DRAWINGS ARE INTERRELATED. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW AND COORDINATE THE ENTIRE SET OF DRAWINGS AND PROJECT MANUAL.

BLDG 5 PRELIMINARY EXT ELEVATIONS

A2.5

CASE NUMBER: STP-22-03-0019

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**1 APPENDIX W: RESIDENTIAL DEVELOPMENT STANDARDS**  
**(SECTION 3 - STANDARDS FOR TOWNHOUSE AND MULTI-FAMILY DEVELOPMENT)**

- 1. EXTERIOR DESIGN REQUIREMENTS**  
 i. The total surface area of all facades: 27,739 sf.  
 ii. The height and percentage tabulations for all exterior wall materials:

EXTERIOR WALLS						
WALL	HEIGHTS	TOTAL AREA	STUCCO	BRICK	SIDING	GLASS
Front	36ft	12,279 sf	3,540 sf = 29%	3,150 sf = 25%	2,956 sf = 24%	1,873 sf = 15%
Rear	36ft	12,783 sf	2,050 sf = 16%		7,701 sf = 60%*	1,160 sf = 9%
Left	36ft	1,359 sf	570 sf = 42%		711 sf = 52%*	78 sf = 6%
Right	36ft	1,318 sf	319 sf = 24%	211 sf = 16%	710 sf = 54%	20 sf = 1%
Grand Totals		27,739 sf	10,965 sf = 40%	5,490 sf = 20%	5,442 sf = 20%	3,188 sf = 11%

- iii. Articulation features proposed for each wall elevation: **Refer to Elevations.**  
 iv. A dashed line indicating the top of roof deck height: **Refer to Elevations.**  
 v. Provide a color pallet, material sample, or rendering of all materials and colors proposed on all building facades. **Refer to Color pallet.**  
 \*. Total calculation indicates same material of two or more contrasting colors. Refer to elevation for individual calculations and locations.

**TOWNHOMES**

**ROOF** 

**FASCIA** 

**GLASS** 

**MULLIONS** 

**STUCCO**

	
COLOR 1	COLOR 2

**FIBER CEMENT SIDING**

		
COLOR 1	COLOR 2	COLOR 3

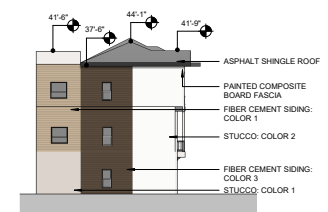
**BRICK**

			
COLOR 1	COLOR 2	COLOR 3	ACCENT

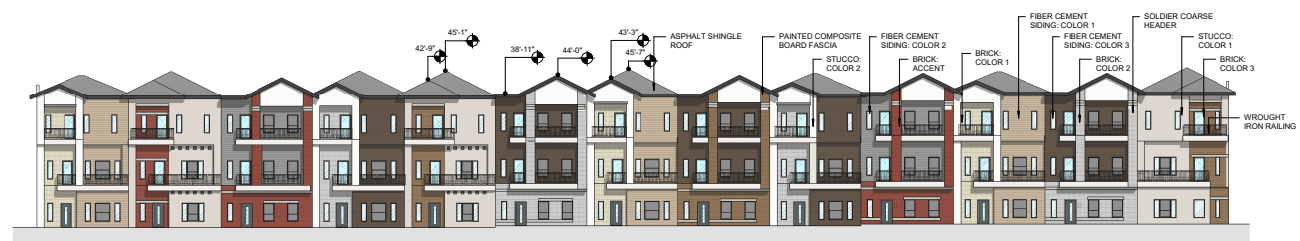
**WROUGHT IRON** 



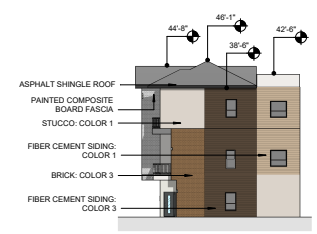
2 BUILDING 6 - REAR ELEVATION  
 1/16" = 1'-0"



3 BUILDING 6 - LEFT ELEVATION  
 1/16" = 1'-0"



1 BUILDING 6 - FRONT ELEVATION  
 1/16" = 1'-0"



4 BUILDING 6 - RIGHT ELEVATION  
 1/16" = 1'-0"

**Item 22.**  
  
 ARCHITECTURE INSPIRE  
 211 N. Florence, Ste. 204  
 El Paso, TX 79901  
 Tel. (915) 533-0323  
 Fax. (915) 533-0332  
 www.exigoarch.com

**GREAT SOUTHWEST TOWNHOMES**  
 2801 S. GREAT SOUTHWEST PARKWAY  
 GRAND PRAIRIE, TX 75052

20211700

Consultants:



Drawing Date: 03/09/22  
 Drawn: Author  
 Checked: Checker  
 Scale: AS SHOWN

Revisions:

No.	Description	Date

**DRAWING COORDINATION**  
 ARCHITECTURAL, CIVIL, MECHANICAL, STRUCTURAL, ELECTRICAL, AND LANDSCAPING DRAWINGS ARE INTERRELATED. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW AND COORDINATE THE ENTIRE SET OF DRAWINGS AND PROJECT MANUAL.

BLDG 6 PRELIMINARY EXT ELEVATIONS

**A2.6**

CASE NUMBER: STP-22-03-0019

BIM 360://Gmsh South West Townhomes/Gen/Permit/Drawings.rvt  
 SHEET: 24'X36' 4/22/2022 11:01:49 AM

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 SHEET: 242X36 - 4/22/2022 11:01:58 AM

**1 APPENDIX W: RESIDENTIAL DEVELOPMENT STANDARDS**  
 (SECTION 3 - STANDARDS FOR TOWNHOUSE AND MULTI-FAMILY DEVELOPMENT)

- 1. EXTERIOR DESIGN REQUIREMENTS**
- i. The total surface area of all facades: 14,009 sf.
  - ii. The height and percentage tabulations for all exterior wall materials:

EXTERIOR WALLS						
WALL	HEIGHTS	TOTAL AREA	STUCCO	BRICK	SIDING	GLASS
Front	24 ft	6049 sf	1200 sf = 20%	1276 sf = 21%	1929 sf = 32%	387 sf = 7%
Rear	24 ft	5773 sf	2007 sf = 35%	2556 sf = 45%	498 sf = 8%	712 sf = 12%
Left	24 ft	1156 sf	316 sf = 27%	168 sf = 15%	575 sf = 50%	97 sf = 8%
Right	24 ft	1031 sf	538 sf = 52%	126 sf = 12%	294 sf = 29%	73 sf = 7%
Grand Totals		14009 sf	4061 sf = 29%	1570 sf = 11%	5354 sf = 38%	1055 sf = 8%

- iii. Articulation features proposed for each wall elevation: **Refer to Elevations.**
- iv. A dashed line indicating the top of roof deck height: **Refer to Elevations.**
- v. Provide a color pallet, material sample, or rendering of all materials and colors proposed on all building facades. **Refer to Color pallet.**
- \*. Total calculation indicates same material of two or more contrasting colors. Refer to elevation for individual calculations and locations.

**TOWNHOMES**

**ROOF**

**FASCIA**

**GLASS**

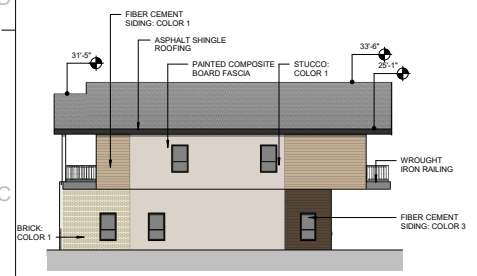
**MULLIONS**

**STUCCO**  
 COLOR 1 COLOR 2

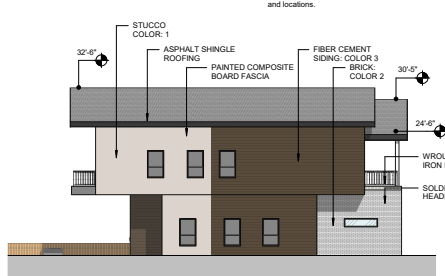
**FIBER CEMENT SIDING**  
 COLOR 1 COLOR 2 COLOR 3

**BRICK**  
 COLOR 1 COLOR 2 COLOR 3 ACCENT

**WROUGHT IRON**



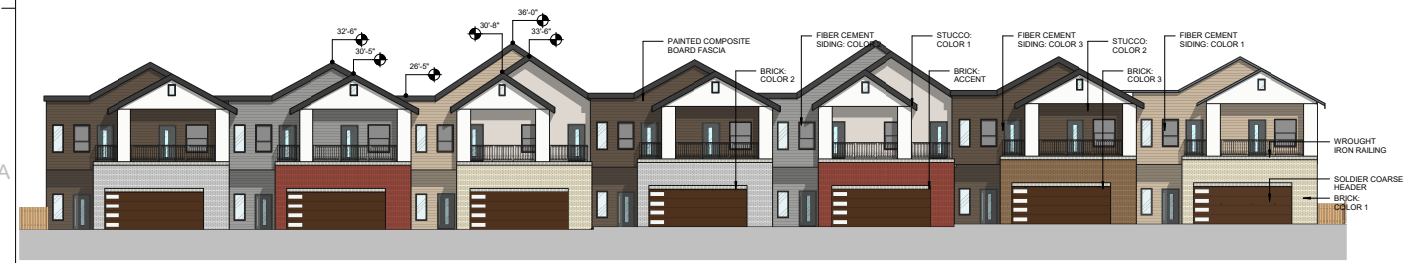
**4 BUILDING 7 - RIGHT ELEVATION**  
 3/32" = 1'-0"



**1 BUILDING 7 - LEFT ELEVATION**  
 3/32" = 1'-0"



**3 BUILDING 7 - REAR ELEVATION**  
 3/32" = 1'-0"



**2 BUILDING 7 - FRONT ELEVATION**  
 3/32" = 1'-0"

**Item 22.**

**EXIG ARCHITECTURE INSPIRE**

211 N. Florence, Ste. 204  
 El Paso, TX 79901

Tel. (915) 533-0323  
 Fax. (915) 533-0332

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**GREAT SOUTHWEST TOWNHOMES**

2801 S. GREAT SOUTHWEST PARKWAY  
 GRAND PRAIRIE, TX 75052

20211700

Consultants:



Drawing Date: 03/09/22  
 Drawn: Author  
 Checked: Checker  
 Scale: AS SHOWN

Revisions:

No.	Description	Date
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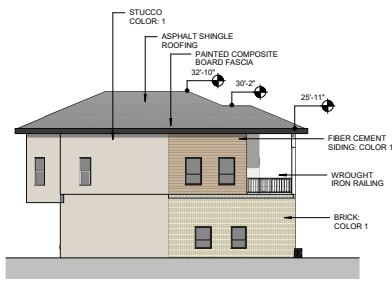
**DRAWING COORDINATION**  
 ARCHITECTURAL, CIVIL, MECHANICAL, STRUCTURAL, ELECTRICAL, AND LANDSCAPING DRAWINGS ARE INTERRELATED. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW AND COORDINATE THE ENTIRE SET OF DRAWINGS AND PROJECT MANUAL.

**BLDG 7 - PRELIMINARY EXT ELEVATIONS**  
**A2.7**

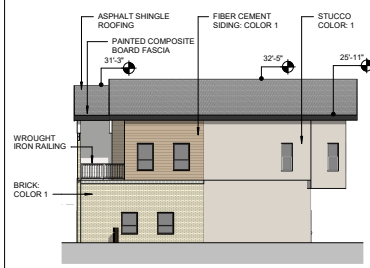
CASE NUMBER: STP-22-03-0019

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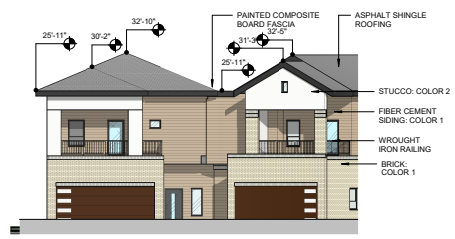
BMS:JBC:GSM: South West Townhomes/Grand Prairie Townhomes.rvt  
 SHEET: 24'X36' 4/22/2022 11:02:04 AM



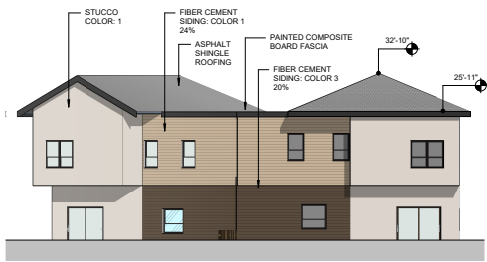
① BUILDING 8 - LEFT ELEVATION  
3/32" = 1'-0"



① BUILDING 8 - RIGHT ELEVATION  
3/32" = 1'-0"



① BUILDING 8 - FRONT ELEVATION  
3/32" = 1'-0"



② BUILDING 8 - REAR ELEVATION  
3/32" = 1'-0"

① **APPENDIX W: RESIDENTIAL DEVELOPMENT STANDARDS**  
(SECTION 3 - STANDARDS FOR TOWNHOUSE AND MULTI-FAMILY DEVELOPMENT)

**I. EXTERIOR DESIGN REQUIREMENTS**

- i. The total surface area of all facades: 5,404 sf.
- ii. The height and percentage tabulations for all exterior wall materials:

EXTERIOR WALLS - BUILDING 8						
WALL	HEIGHTS	TOTAL AREA	STUCCO	BRICK	SIDING	GLASS
Front	24 ft	1471 sf	190 sf = 13%	326 sf = 22%	562 sf = 38%	58 sf = 4%
Rear	24 ft	1975 sf	821 sf = 42%		884 sf = 44%	137 sf = 6%
Left	24 ft	983 sf	517 sf = 53%	265 sf = 27%	128 sf = 13%	73 sf = 7%
Right	24 ft	975 sf	514 sf = 53%	261 sf = 27%	127 sf = 13%	73 sf = 7%
Grand Totals		5404 sf	2042 sf = 38%	852 sf = 16%	1701 sf = 32%	361 sf = 7%

- iii. Articulation features proposed for each wall elevation: **Refer to Elevations.**
- iv. A dashed line indicating the top of roof deck height: **Refer to Elevations.**
- v. Provide a color pallet, material sample, or rendering of all materials and colors proposed on all building facades. **Refer to Color pallet.**
- \*. Total calculation indicates same material of two or more contrasting colors. Refer to elevation for individual calculations and locations.

① **APPENDIX W: RESIDENTIAL DEVELOPMENT STANDARDS**  
(SECTION 3 - STANDARDS FOR TOWNHOUSE AND MULTI-FAMILY DEVELOPMENT)

**I. EXTERIOR DESIGN REQUIREMENTS**

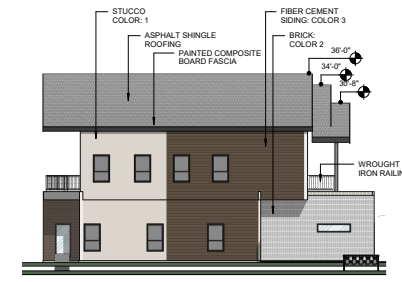
- i. The total surface area of all facades: 6024 sf.
- ii. The height and percentage tabulations for all exterior wall materials:

EXTERIOR WALLS - BUILDING 10						
WALL	HEIGHTS	TOTAL AREA	STUCCO	BRICK	SIDING	GLASS
Front	24 ft	1839 sf	610 sf = 33%	367 sf = 20%	388 sf = 21%	100 sf = 6%
Rear	24 ft	1772 sf	523 sf = 30%		944 sf = 52%	98 sf = 6%
Left	24 ft	1192 sf	307 sf = 26%	290 sf = 24%	465 sf = 39%	130 sf = 11%
Right	24 ft	1221 sf	249 sf = 20%	136 sf = 12%	738 sf = 60%	98 sf = 8%
Grand Totals		6024 sf	1689 sf = 28%	793 sf = 13%	2535 sf = 42%	426 sf = 7%

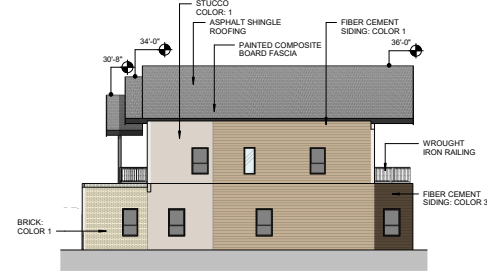
- iii. Articulation features proposed for each wall elevation: **Refer to Elevations.**
- iv. A dashed line indicating the top of roof deck height: **Refer to Elevations.**
- v. Provide a color pallet, material sample, or rendering of all materials and colors proposed on all building facades. **Refer to Color pallet.**
- \*. Total calculation indicates same material of two or more contrasting colors. Refer to elevation for individual calculations and locations.

**TOWNHOMES**

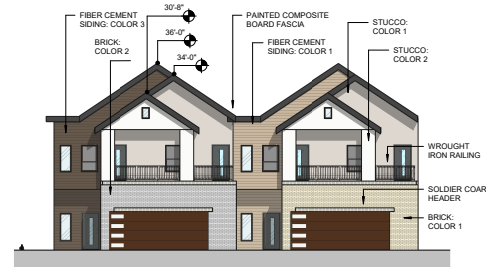
ROOF		STUCCO			COLOR 1	COLOR 2
FASCIA		FIBER CEMENT SIDING			COLOR 1	COLOR 2
GLASS		BRICK				
MULLIONS		WROUGHT IRON				



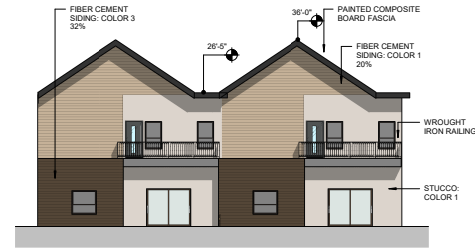
⑦ BUILDING 10 - LEFT ELEVATION  
3/32" = 1'-0"



⑧ BUILDING 10 - RIGHT ELEVATION  
3/32" = 1'-0"



⑤ BUILDING 10 - FRONT ELEVATION  
3/32" = 1'-0"



⑥ BUILDING 10 - REAR ELEVATION  
3/32" = 1'-0"

**Item 22.**

ARCHITECTURE INSPIRE, INC.

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www.exigearch.com

**GREAT SOUTHWEST TOWNHOMES**

2801 S. GREAT SOUTHWEST PARKWAY  
GRAND PRAIRIE, TX 75052

20211700

Consultants:



Drawing Date: 03/09/22  
Drawn: Author  
Checked: Checker  
Scale: AS SHOWN

Revisions:

No.	Description	Date

**DRAWING COORDINATION**

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BLDG 8 & 10  
PRELIMINARY EXT ELEVATIONS  
**A2.8**

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**1 APPENDIX W: RESIDENTIAL DEVELOPMENT STANDARDS  
 (SECTION 3 - STANDARDS FOR TOWNHOUSE AND MULTI-FAMILY DEVELOPMENT)**

**1. EXTERIOR DESIGN REQUIREMENTS**

- i. The total surface area of all facades: 17,693 sf.
- ii. The height and percentage tabulations for all exterior wall materials:

EXTERIOR WALLS						
WALL	HEIGHTS	TOTAL AREA	STUCCO	BRICK	SIDING	GLASS
Front	24 ft	7931 sf	1761 sf = 22%	1703 sf = 22%	3320 sf = 29%	488 sf = 6%
Rear	24 ft	7557 sf	2459 sf = 33%		3521 sf = 46%	597 sf = 8%
Left	24 ft	1165 sf	320 sf = 27%	171 sf = 15%	577 sf = 50%	97 sf = 8%
Right	24 ft	1040 sf	553 sf = 53%	131 sf = 13%	283 sf = 26%	73 sf = 8%
Grand Totals		17693 sf	5093 sf = 29%	2005 sf = 11%	6701 sf = 38%	1255 sf = 7%

- iii. Articulation features proposed for each wall elevation: **Refer to Elevations.**
- iv. A dashed line indicating the top of roof deck height: **Refer to Elevations.**
- v. Provide a color pallet, material sample, or rendering of all materials and colors proposed on all building facades. **Refer to Color pallet.**
- \*. Total calculation indicates same material of two or more contrasting colors. Refer to elevation for individual calculations and locations.

**TOWNHOMES**

**ROOF**

**STUCCO**   
 COLOR 1 COLOR 2

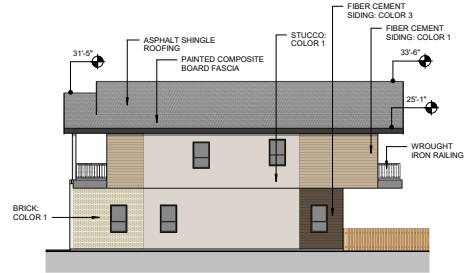
**FASCIA**   
 FIBER CEMENT SIDING  
 COLOR 1 COLOR 2 COLOR 3

**GLASS**

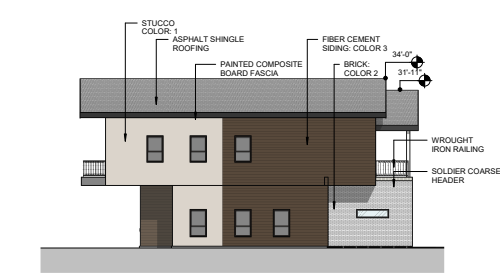
**BRICK**   
 BRICK  
 COLOR 1 COLOR 2 COLOR 3 ACCENT

**MULLIONS**

**WROUGHT IRON**



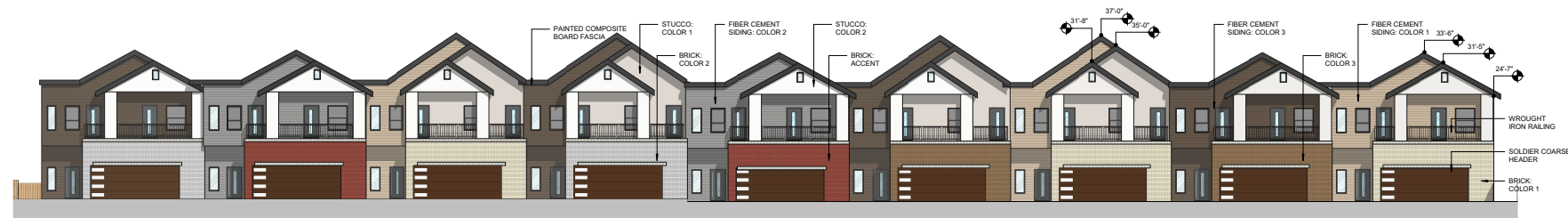
**4 BUILDING 9 - RIGHT ELEVATION**  
 3/32" = 1'-0"



**3 BUILDING 9 - LEFT ELEVATION**  
 3/32" = 1'-0"



**2 BUILDING 9 - REAR ELEVATION**  
 3/32" = 1'-0"



**1 BUILDING 9 - FRONT ELEVATION**  
 3/32" = 1'-0"

**Item 22.**

**EXIGOR ARCHITECTURE INSPIRE**

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**GREAT SOUTHWEST TOWNHOMES**

2801 S. GREAT SOUTHWEST PARKWAY  
 GRAND PRAIRIE, TX 75052

20211700

Consultants:



Drawn Date: 03/09/22  
 Drawn: Author  
 Checked: Checker  
 Scale: AS SHOWN

Revisions:

No.	Description	Date

**DRAWING COORDINATION**  
 ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND LANDSCAPING DRAWINGS ARE INTERRELATED. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW AND COORDINATE THE ENTIRE SET OF DRAWINGS AND PROJECT MANUAL.

**BLDG 9 PRELIMINARY EXT ELEVATIONS**

**A2.9**

CASE NUMBER: STP-22-03-0019

1 2 3 4 5



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BMS-JBC-Gene South West Townhomes/Gen/Prime Townhomes.rvt  
 SHEET: 24'X36' - 4/22/2022 11:02:19 AM

**1 APPENDIX W - RESIDENTIAL DEVELOPMENT STANDARDS**  
**(SECTION 3 - STANDARDS FOR TOWNHOUSE AND MULTI-FAMILY DEVELOPMENT)**

**1. EXTERIOR DESIGN REQUIREMENTS**

- i. The total surface area of all facades: 12460 sf.
- ii. The height and percentage tabulations for all exterior wall materials:

WALL	HEIGHTS	TOTAL AREA	EXTERIOR WALLS				
			STUCCO	BRICK	SIDING	GLASS	DOORS
Front	24 ft	5299 sf	1048 sf = 20%	1106 sf = 21%	1636 sf = 31%	330 sf = 6%	1199 sf = 22%
Rear	24 ft	4999 sf	1728 sf = 35%		2241 sf = 45%*	418 sf = 8%	612 sf = 12%
Left	24 ft	1161 sf	313 sf = 28%	237 sf = 20%	514 sf = 44%	97 sf = 8%	
Right	24 ft	1041 sf	557 sf = 54%	131 sf = 13%	280 sf = 26%	73 sf = 7%	
Grand Totals		12460 sf	3646 sf = 30%	1474 sf = 12%	4671 sf = 37%	918 sf = 7%	1751 sf = 14%

- iii. Articulation features proposed for each wall elevation: **Refer to Elevations.**
- iv. A dashed line indicating the top of roof deck height: **Refer to Elevations.**
- v. Provide a color pallet, material sample, or rendering of all materials and colors proposed on all building facades: **Refer to Color pallet.**
- \*. Total calculation indicates same material of two or more contrasting colors. Refer to elevation for individual calculations and locations.

**TOWNHOMES**

**ROOF** 

**FASCIA** 

**GLASS** 

**MULLIONS** 

**STUCCO**  COLOR 1  COLOR 2

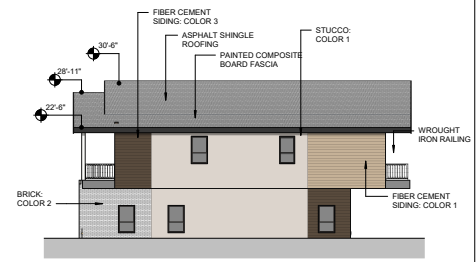
**FIBER CEMENT SIDING**  COLOR 1  COLOR 2  COLOR 3

**BRICK**  COLOR 1  COLOR 2  COLOR 3  ACCENT

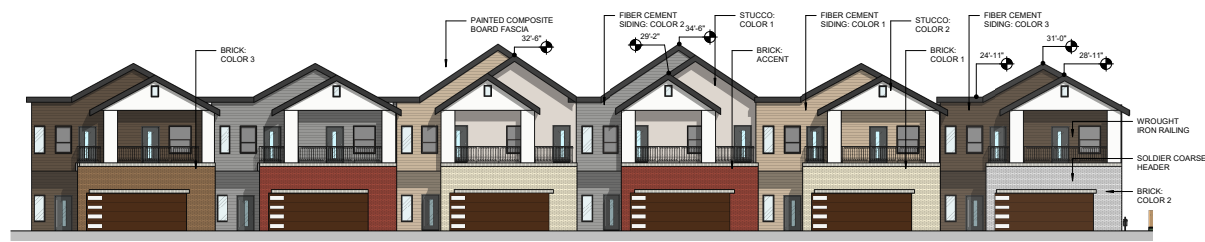
**WROUGHT IRON** 



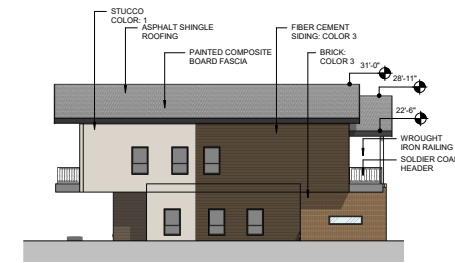
**2 BUILDING 11 - REAR ELEVATION**  
 3/32" = 1'-0"



**4 BUILDING 11 - RIGHT ELEVATION**  
 3/32" = 1'-0"



**1 BUILDING 11 - FRONT ELEVATION**  
 3/32" = 1'-0"



**3 BUILDING 11 - LEFT ELEVATION**  
 3/32" = 1'-0"



**Item 22.**  
 211 N. Florence, Ste. 204  
 El Paso, TX 79901  
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 Fax. (915) 533-0332  
 www.exigoarch.com

**GREAT SOUTHWEST TOWNHOMES**  
 2801 S. GREAT SOUTHWEST PARKWAY  
 GRAND PRAIRIE, TX 75052

20211700

Consultants:



Drawing Date: 03/09/22  
 Drawn: Author  
 Checked: Checker  
 Scale: AS SHOWN

Revisions:

No.	Description	Date

**DRAWING COORDINATION**  
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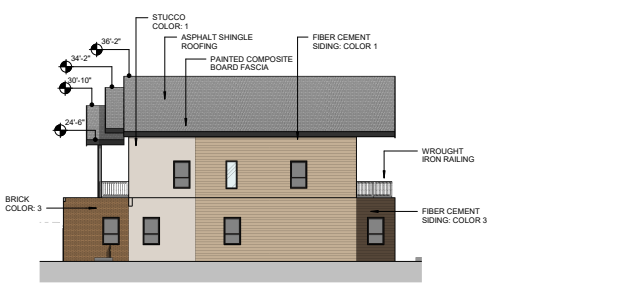
BLDG 11  
 PRELIMINARY EXT ELEVATIONS  
**A2.10**

CASE NUMBER: STP-22-03-0019

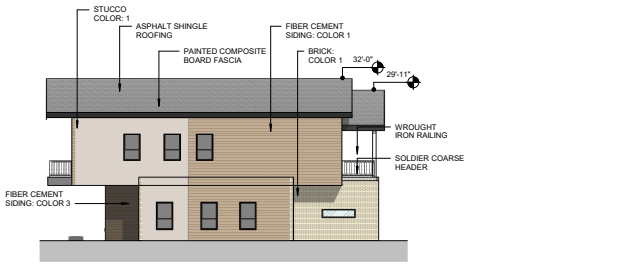
1 2 3 4 5

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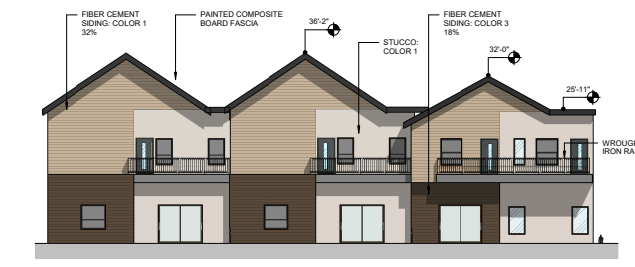
BMS 368.0004 - South West Townhomes/Case/Project/Drawings.rvt  
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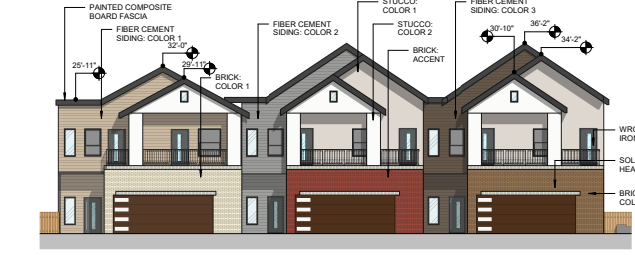
① BUILDING 12 - RIGHT ELEVATION  
3/32" = 1'-0"



② BUILDING 12 - LEFT ELEVATION  
3/32" = 1'-0"



③ BUILDING 12 - REAR ELEVATION  
3/32" = 1'-0"



④ BUILDING 12 - FRONT ELEVATION  
3/32" = 1'-0"

① APPENDIX W: RESIDENTIAL DEVELOPMENT STANDARDS (SECTION 3 - STANDARDS FOR TOWNHOUSE AND FAMILY DEVELOPMENT)

1. EXTERIOR DESIGN REQUIREMENTS
- i. The total surface area of all facades: 7669 sf.
  - ii. The height and percentage tabulations for all exterior wall materials:

WALL	HEIGHTS	TOTAL AREA	EXTERIOR WALLS - BUILDING 12			
			STUCCO	BRICK	SIDING	GLASS
Front	24 ft.	2635 sf	703 sf = 27%	500 sf = 21%	859 sf = 32%	156 sf = 6%
Rear	24 ft.	2613 sf	828 sf = 32%	1301 sf = 50%	178 sf = 7%	306 sf = 12%
Left	24 ft.	1192 sf	330 sf = 28%	171 sf = 14%	594 sf = 50%	97 sf = 8%
Right	24 ft.	1229 sf	258 sf = 21%	135 sf = 11%	738 sf = 60%	98 sf = 8%
Grand Totals		7669 sf	2119 sf = 28%	856 sf = 11%	3292 sf = 43%	871 sf = 11%

- iii. Articulation features proposed for each wall elevation: **Refer to Elevations.**
- iv. A dashed line indicating the top of roof deck height: **Refer to Elevations.**
- v. Provide a color pallet, material sample, or rendering of all materials and colors proposed on all building facades: **Refer to Color pallet.**
- \*. Total calculation indicates same material of two or more contrasting colors. Refer to elevation for individual calculations and locations.

① APPENDIX W: RESIDENTIAL DEVELOPMENT STANDARDS (SECTION 3 - STANDARDS FOR TOWNHOUSE AND FAMILY DEVELOPMENT)

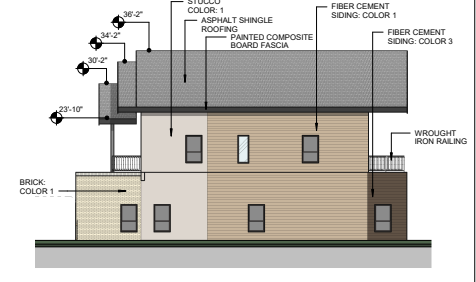
1. EXTERIOR DESIGN REQUIREMENTS
- i. The total surface area of all facades: 4207 sf.
  - ii. The height and percentage tabulations for all exterior wall materials:

WALL	HEIGHTS	TOTAL AREA	EXTERIOR WALLS - BUILDING 13			
			STUCCO	BRICK	SIDING	GLASS
Front	24 ft.	901 sf	301 sf = 33%	181 sf = 20%	182 sf = 20%	50 sf = 6%
Rear	24 ft.	907 sf	261 sf = 29%	494 sf = 54%	49 sf = 5%	103 sf = 11%
Left	24 ft.	1192 sf	307 sf = 26%	290 sf = 24%	485 sf = 39%	130 sf = 11%
Right	24 ft.	1207 sf	253 sf = 21%	135 sf = 11%	721 sf = 60%	98 sf = 8%
Grand Totals		4207 sf	1122 sf = 27%	806 sf = 19%	1882 sf = 44%	327 sf = 8%

- iii. Articulation features proposed for each wall elevation: **Refer to Elevations.**
- iv. A dashed line indicating the top of roof deck height: **Refer to Elevations.**
- v. Provide a color pallet, material sample, or rendering of all materials and colors proposed on all building facades: **Refer to Color pallet.**
- \*. Total calculation indicates same material of two or more contrasting colors. Refer to elevation for individual calculations and locations.

TOWNHOMES

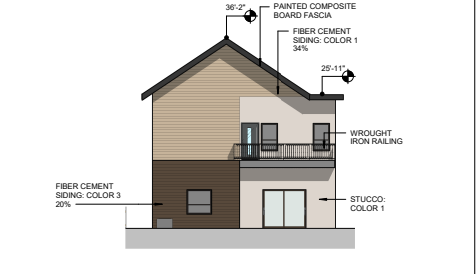
ROOF		STUCCO			
			COLOR 1	COLOR 2	
FASCIA		FIBER CEMENT SIDING			
			COLOR 1	COLOR 2	COLOR 3
GLASS		BRICK			
			COLOR 1	COLOR 2	COLOR 3
					ACCENT
MULLIONS		WROUGHT IRON			



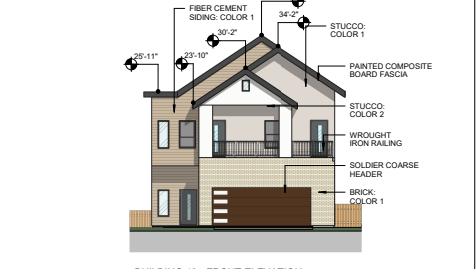
⑤ BUILDING 13 - RIGHT ELEVATION  
3/32" = 1'-0"



⑥ BUILDING 13 - LEFT ELEVATION  
3/32" = 1'-0"



⑦ BUILDING 13 - REAR ELEVATION  
3/32" = 1'-0"



⑧ BUILDING 13 - FRONT ELEVATION  
3/32" = 1'-0"

Item 22.

ARCHITECTURE INSPIRE

211 N. Florence, Ste. 204  
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GREAT SOUTHWEST TOWNHOMES

2801 S. GREAT SOUTHWEST PARKWAY  
GRAND PRAIRIE, TX 75002

20211700

Consultants:



Drawn Date: 03/10/22  
Drawn: Author  
Checked: Checker  
Scale: AS SHOWN

Revisions:

No.	Description	Date

DRAWING COORDINATION

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BLDG 12 & 13  
PRELIMINARY EXT  
ELEVATIONS  
A2.11

CASE NUMBER: STP-22-03-0019

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BIM 360://exigo South West Townhomes/Gen/Print/ExigoArch.rvt  
 SHEET: 24'X36' 4/22/2022 11:02:31 AM

① APPENDIX W - RESIDENTIAL DEVELOPMENT STANDARDS  
 (SECTION 3 - STANDARDS FOR TOWNHOUSE AND MULTI-FAMILY DEVELOPMENT)

1. EXTERIOR DESIGN REQUIREMENTS

- i. The total surface area of all facades: 3,715 sf.
- ii. The height and percentage tabulations for all exterior wall materials:

WALL HEIGHTS	TOTAL AREA	EXTERIOR WALLS				
		STUCCO	BRICK	SIDING	GLASS	DOORS
Front 23'-8"	709 sf	268 sf = 38%	735 sf = 19%	85 sf = 12%	150 sf = 21%	41 sf = 6%
Rear 0'-023 8'-0"	623 sf	269 sf = 43%		288 sf = 46%	69 sf = 11%	
Left 0'-023 8'-0"	1240 sf	436 sf = 35%		189 sf = 15%	245 sf = 20%	370 sf = 30%
Right 0'-023 8'-0"	1143 sf	277 sf = 24%	148 sf = 13%	464 sf = 41%	254 sf = 22%	
Grand Totals	3715 sf	1230 sf = 33%	283 sf = 8%	1036 sf = 28%	755 sf = 20%	411 sf = 11%

- iii. Articulation features proposed for each wall elevation: Refer to Elevations.
- iv. A dashed line indicating the top of roof deck height: Refer to Elevations.
- v. Provide a color pallet, material sample, or rendering of all materials and colors proposed on all building facades: Refer to Color pallet.
- \*. Total calculation indicates same material of two or more contrasting colors. Refer to elevation for individual calculations and locations.

TOWNHOMES

ROOF: [Image of roof material]

FASCIA: [Image of fascia material]

GLASS: [Image of glass window]

MULLIONS: [Image of mullion material]

STUCCO: [Image of stucco material]

FIBER CEMENT SIDING: [Image of fiber cement siding material]

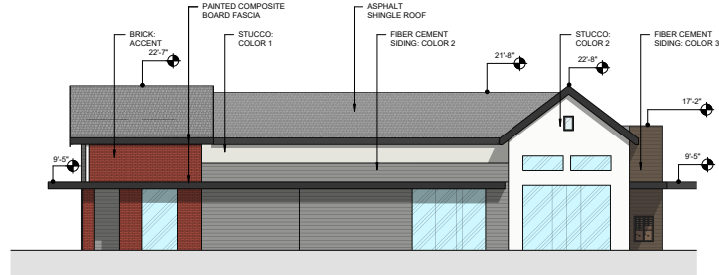
BRICK: [Image of brick material]

WROUGHT IRON: [Image of wrought iron railing]

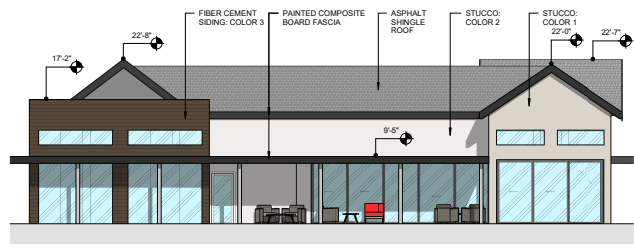
COLOR 1, COLOR 2, COLOR 3, ACCENT



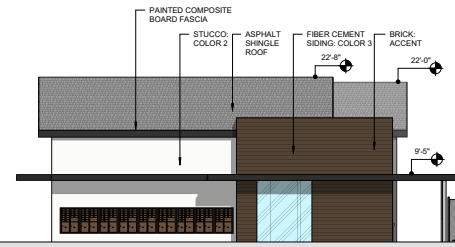
① CLUBHOUSE - FRONT ELEVATION  
 1/8" = 1'-0"



② CLUBHOUSE - RIGHT ELEVATION  
 1/8" = 1'-0"



④ CLUBHOUSE - LEFT ELEVATION  
 1/8" = 1'-0"



③ CLUBHOUSE - REAR ELEVATION  
 1/8" = 1'-0"

CASE NUMBER: STP-22-03-0019

Item 22.

EXIGO ARCHITECTURE INSPIRE

211 N. Florence, Ste. 204  
 El Paso, TX 79901

Tel. (915) 533-0323  
 Fax. (915) 533-0332

www.exigoarch.com

GREAT SOUTHWEST TOWNHOMES

2801 S. GREAT SOUTHWEST PARKWAY  
 GRAND PRAIRIE, TX 75052

20211700

Consultants:



Drawing Date: 03/22/2022  
 Drawn: Author  
 Checked: Checker  
 Scale: AS SHOWN

Revisions:

No.	Description	Date

DRAWING COORDINATION

ARCHITECTURAL, CIVIL, MECHANICAL, STRUCTURAL, ELECTRICAL, AND LANDSCAPING DRAWINGS ARE INTERRELATED. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW AND COORDINATE THE ENTIRE SET OF DRAWINGS AND PROJECT MANUAL.

CLUB HOUSE PRELIMINARY ELEVATIONS  
**A2.12**

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C  
B  
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1 2 3 4 5



**Item 22.**



211 N. Florence, Ste. 204  
El Paso, TX 79901  
Tel. (915) 533-0323  
Fax. (915) 533-0332  
www.exigoarch.com

**GREAT SOUTHWEST  
TOWNHOMES**

2801 S. GREAT SOUTHWEST  
PARKWAY  
GRAND PRAIRIE, TX 75052

20211700

Consultants:



Drawing Date: 04/21/22  
Drawn: Author  
Checked: Checker  
Scale: AS SHOWN

Revisions:

No.	Description	Date
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**DRAWING COORDINATION**

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TOWNHOUSE  
PERSPECTIVE  
**A3.1**

CASE NUMBER: STP-22-03-0019

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El Paso, TX 79901  
Tel. (915) 533-0323  
Fax. (915) 533-0332  
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**GREAT SOUTHWEST  
TOWNHOMES**  
2801 S. GREAT SOUTHWEST  
PARKWAY  
GRAND PRAIRIE, TX 75052

20211700  
Consultants:



Drawing Date: 04/21/22  
Drawn: Author  
Checked: Checker  
Scale: AS SHOWN

No.	Description	Date

**DRAWING COORDINATION**  
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AND ALL SUBCONTRACTORS SHALL REVIEW  
AND COORDINATE THE ENTIRE SET OF  
DRAWINGS AND PROJECT MANUAL.

TOWNHOUSE  
PERSPECTIVE  
**A3.2**

CASE NUMBER: STP-22-03-0019

1 2 3 4 5



## CITY OF GRAND PRAIRIE COMMUNICATION

**MEETING DATE:** 06/07/2022

**REQUESTER:** Monica Espinoza, Administrative Supervisor

**PRESENTER:** Savannah Ware, AICP, Chief City Planner

**TITLE:** STP-22-03-0015 - Site Plan - Tribeca Townhomes (City Council District 2). Site Plan for Tribeca Townhomes, a townhome development with 78 units on 9.17 acres. Tract 2.1, Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-422, within the SH 161 Corridor Overlay District, and generally located at the southwest corner of SH 161 and S Forum Dr (On May 23, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-1)

**APPLICANT:** Chase DeBaun, Aerofirma  
Staff recommends general support as the request is in line with the

**RECOMMENDED ACTION:** approved Concept Plan but notes the site plan has a number of requested variances. The applicant did not request these variances during the PD zone change/concept plan request.

### SUMMARY:

Site Plan for Tribeca Townhomes, a townhome development with 78 units on 9.17 acres. Tract 2.1, Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-422, within the SH 161 Corridor Overlay District, and generally located at the southwest corner of SH 161 and S Forum Dr.

### PURPOSE OF REQUEST:

The applicant is seeking Site Plan approval for a townhome development. The Unified Development Code requires City Council approval of a site plan for townhome development. Any development in a planned development district also requires City Council approval of a Site Plan. Development at this location requires site plan approval by City Council because the property is for townhome use and zoned Planned Development-422 District.

The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code (UDC) and PD-418, provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, landscaping and screening requirements, and architectural design for special districts.

## ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1. Zoning and Land Use**

Direction	Zoning	Existing Use
North	PD-397	Multi-Family (Under Construction), Undeveloped
South	PD-29	Undeveloped
West	PD-382	Multi-Family (The Royalton)
East	PD-383	Restaurant/Retail (Under Construction), Undeveloped

## HISTORY:

- December 14, 2021: City Council approved a Zoning Change/Concept Plan, creating PD-422 for townhome use (Case Number ZON-21-09-0004).

## PROPOSED USE CHARACTERISTICS AND FUNCTION:

The proposal includes 78 townhome units, a gated entry with private streets, a dog park, and an open space area with trails and a gazebo. The development will be accessible from Forum Dr. Each townhome will have a rear-entry, two-car garage. The common amenities and streets will be maintained by a homeowner's association.

## ZONING REQUIREMENTS:

### *Density and Dimensional Requirements*

The table below summarizes the density and dimensional requirements. The proposal does not meet all of the requirements.

**Table 2. Summary of Lot Requirements**

Standard	UDC	Provided	Meets
Maximum Density	13.2	8.5	Yes
Min. Living Area (Ft.)	1,150-1,299 = 30% (Max) 1,300 = 70% (Min)	0% 100%	Yes
Min. Lot Area (Sq. Ft.)	1,680-3,299 = 30% (Max) 3,300 = 70% (Min)	100% 0%	No
Min. Lot Width (Ft.)	21-29 = 30% (Max) 30 = 70% (Min)	100% 0%	No
Min. Lot Depth (Ft.)	80-99 = 30% (Max) 100 = 70% (Min)	100% 0%	No
Front Setback (Ft.)	17	10	No
Interior Side Setback (Ft.)	5	0	No

Garage Door Setback (Ft.)	20	7	No
Max. Height (Ft.)	35 (3 Stories)	35 (3 Stories)	Yes
Lot Coverage (%)	60	28	Yes

### *Parking Requirements*

The property is subject to parking requirements in Appendix W of the UDC. The following table summarizes these requirements. The proposal meets the parking requirements.

**Table 3. Parking Summary**

Standard	Appendix W (UDC)	Proposed	Compliance
2 Garage Parking spaces (units with = or > 2 bedrooms)	156	156	Yes
Guest Parking (1 space per 5 units)	16	21	Yes

### *Landscape and Screening*

The property is subject to landscape and screening requirements in Article 8 of the UDC along with Appendix W.

**Table 4. Landscape Summary**

Standard	Required	Proposed	Compliance
3-inch Caliper Tree	156	188	Yes
Shrubs (gallons)	30 Per Lot	30 Per Lot	Yes
% Landscaping (Sq. Ft.)	58,438	125,353	Yes

### *Building Design*

Building materials include brick, stone, and stucco which align with the conceptual elevations approved with the Planned Development District (PD-422). The elevations include contrasting colors, textures, and materials.

Appendix W recommends architectural techniques, such as varied front setbacks of windows and balconies, and changes in material, color, and texture, to articulate facades and sidewall elevations. Appendix W also states that the repeat color of brick, stone, siding or other non-accent fascia material should not be used within four consecutive residential units. These facade elements are included in the proposed elevations and the applicant is providing four color and material schemes.

### **VARIANCES:**

The applicant is requesting the following variances.



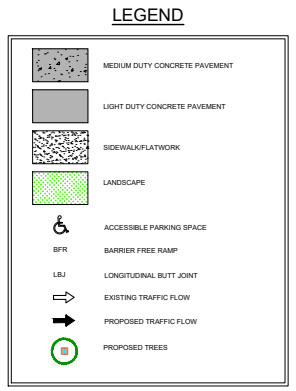
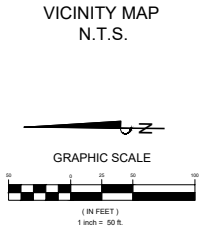
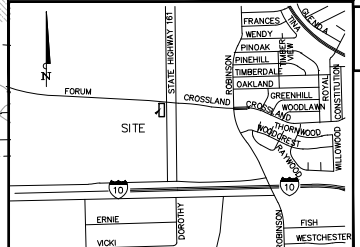
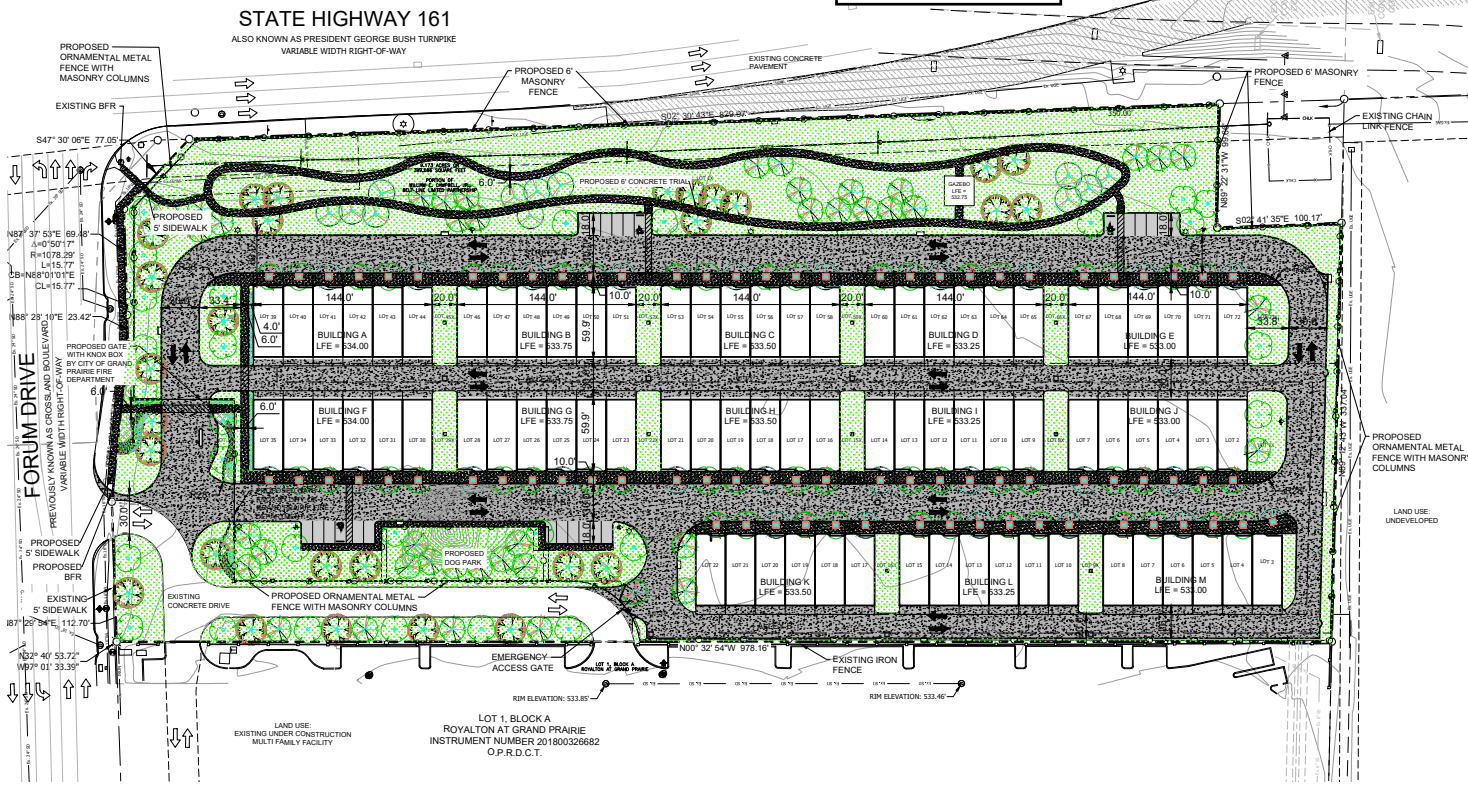
1. Lot Area – Variance to the minimum lot area to provide 100% of lots in the 1,680-3,299 sq. ft. range when the UDC allows a maximum of 30% and to provide 0% of lots at least 3,300 sq. ft. when the UDC requires a minimum of 70%.
2. Lot Width – Variance to the minimum lot width to provide 100% of lots that are 21-29 ft. wide when the UDC allows a maximum of 30% and to provide 0% of lots that are at least 30 ft. wide when the UDC requires a minimum of 70%.
3. Lot Depth – Variance to the minimum lot depth to provide 100% of lots that are 80-99 ft. deep when the UDC allows a maximum of 30% and to provide 0% of lots that are at least 100 ft. wide when the UDC requires a minimum of 70%.
4. Front Setback – Variance to the front setback to provide a 10 ft. setback when the UDC requires 17 ft.
5. Interior Side Setback – Variance to the interior side setback to provide 0 ft. setback when the UDC requires 5 ft.
6. Garage Door Setback – Variance to the garage door setback to provide 7 ft. when the UDC requires 20 ft.

**RECOMMENDATION:**

- On May 23, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-1.
- Staff recommends general support as the request is in line with the approved Concept Plan but notes the site plan has a number of requested variances. The applicant did not request these variances during the PD zone change/concept plan request.



**Exhibit B - Site Plan**  
Page 1 of 4



- NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY.
  - REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES.
  - ALL SIDEWALKS TO BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.0%.
  - TYPICAL PARKING STALLS SHALL BE 9' X 18'.
  - REFER TO ARCHITECTURAL BUILDING ELEVATIONS FOR AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIALS.
  - REFER TO ARCHITECTURAL PLANS FOR ALL PROPOSED SIGNAGE DETAILS.
  - BUILDING LOCATIONS AND RESULTING SETBACKS ARE AS SHOWN ON PLAN.
  - SITE IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN PER FIRM NO: 481300448L DATED 03/21/2019.
  - ALL STREETS ASSOCIATED WITH SITE SHALL BE PRIVATE.
  - EACH UNIT SHALL CONTAIN A TWO-CAR GARAGE.
  - BARRIER FREE RAMPS SHALL BE EITHER DIRECTIONAL CURB RAMPS OR PERPENDICULAR CURB RAMPS PER CITY DETAIL SHEET P-18 PAGE 2 OF 4.

**SITE DATA SUMMARY TABLE-1**

SETBACKS	PROVIDED	REQUIRED BY UDC TABLE 6B
FRONT	10 Ft	17 Ft
REAR GARAGE	7 Ft	20 Ft
INTERIOR SIDE ATTACHED	0 Ft	0 Ft
INTERIOR SIDE NOT ATTACHED	0 Ft	5 Ft

**SITE DATA SUMMARY TABLE-3**

ZONING	PD-422
LOT SIZE	9.17 ACRES
LANDSCAPE AREA	125,353 SF (31%)
TOTAL IMPERVIOUS	274,234 SF (69%)
IMPACT ZONE	NORTH
NUMBER OF BUILDINGS	13
NUMBER OF UNITS	78
PARKING	
NO. OF GUEST PARKING PROVIDED	21 SPACES
NO. OF HC PARKING PROVIDED	3 SPACES

**SITE DATA SUMMARY TABLE- 2**

	REQUIRED BY UDC TABLE 6B	PROPOSED DEVELOPMENT
LIVING AREA PER UNIT	1,150 TO 1,299=30%	0 SF (0%)
	1,300=70%	2083 SF (100%)
DESIGNATION	SF-T	SF-T
TOWNHOUSE DENSITY PER ACRE	13.2	8.50
LOT COVERAGE	60.00%	27.92%
HEIGHT	MAX 35' (3 STORIES)	34' 10" (3 STORIES)
LOT SIZE IN Ft	1,680 TO 3,299=30%	1,786 = 100%
	3,300 = 70%	0%
DEPTH OF LOTS IN Ft	80 TO 99 = 30%	74.4 LF (100%)
	100 = 70%	0 LF (0%)
WIDTH OF LOTS IN Ft	21 TO 29 = 30%	24 LF (100%)
	30 = 70%	0 LF (0%)

**DEVELOPER/OWNER:**  
CONTACT: Chase DeBlain  
3972 WESTCLIFF ROAD  
GRAND PRAIRIE, TX 75052  
PHONE: (972) 263-6796 EXT 113  
EMAIL: chase@saerofirma.com

**ENGINEER:**  
BANNISTER ENGINEERING, LLC  
240 NORTH MITCHELL ROAD  
MANSFIELD, TEXAS 76063  
(817) 842-2094  
CONTACT: HECTOR SOTELO, P.E.  
EMAIL: hsotelo@bannistereng.com

Item 23.

**BANNISTER ENGINEERING**  
240 North Mitchell Road, Mansfield, TX 76063 (817) 842-2094  
REGISTRATION # F-10589 (TEXAS)

TRIBECA TOWNHOMES  
1550 FORUM DR.  
GRAND PRAIRIE, TEXAS

SITE PLAN

No.	Date	Revision/Description

**PRELIMINARY**  
FOR REVIEW ONLY

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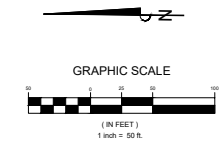
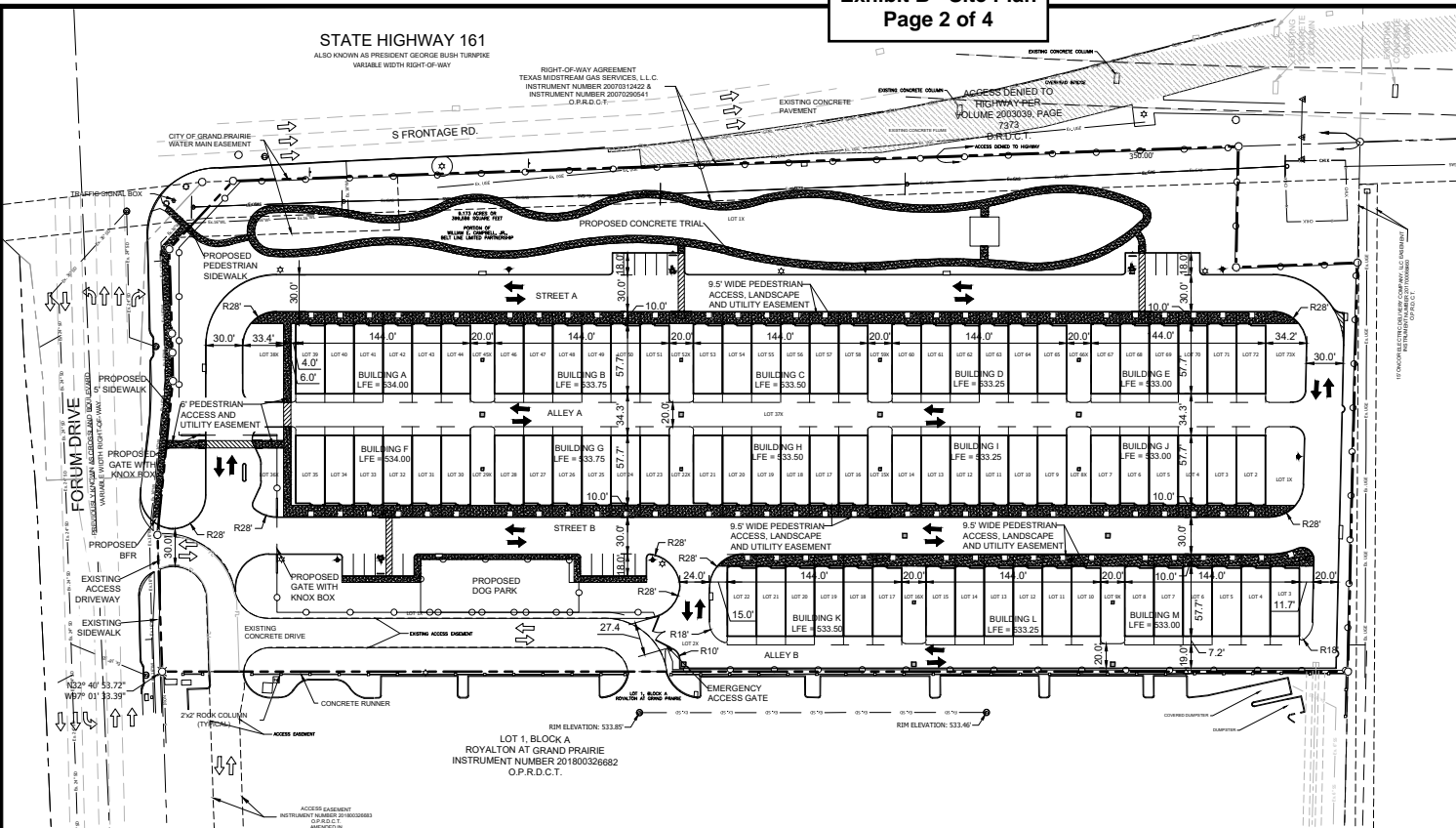
HECTOR J. SOTELO, P.E.  
P.E. No. 104800 Exp. APR 28, 2022

SHEET NUMBER

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STATE HIGHWAY 161  
ALSO KNOWN AS PRESIDENT GEORGE BUSH TURNPIKE  
VARIABLE WIDTH RIGHT-OF-WAY

RIGHT-OF-WAY AGREEMENT  
TEXAS MIDSTREAM GAS SERVICES, L.L.C.  
INSTRUMENT NUMBER 20170131242 &  
INSTRUMENT NUMBER 2017020641  
D.P.R.D.C.T.



**FIRE DEPARTMENT NOTE**

1. EACH UNIT WILL HAVE A SPRINKLER SYSTEM.

**LEGEND**

	ACCESSIBLE PARKING SPACE
	BARRIER FREE RAMP
	LONGITUDINAL BUTT JOINT
	FIRE HYDRANT
	EXISTING TRAFFIC FLOW
	PROPOSED TRAFFIC FLOW

**NOTES**

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- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY.
- REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES.
- ALL SIDEWALKS TO BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.0%.

**NOTES TO CONTRACTOR**

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**SITE DATA SUMMARY TABLE-1**

SETBACKS	PROVIDED	REQUIRED BY UDC TABLE 6B
FRONT	10 Ft	17 Ft
REAR GARAGE	7 Ft	20 Ft
INTERIOR SIDE ATTACHED	0 Ft	0 Ft
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**SITE DATA SUMMARY TABLE- 2**

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TOWNHOUSE DENSITY PER ACRE	13.2	8.50
LOT COVERAGE	60.00%	27.92%
HEIGHT IN Ft	MAX 35' (3 STORIES)	34' 10" (3 STORIES)
LOT SIZE IN Ft	1,680 TO 3,299=30%	1,786 = 100%
DEPTH OF LOTS IN Ft	3,300 = 70%	0%
WIDTH OF LOTS IN Ft	80 TO 99 = 30%	74.4 LF (100%)
	100 = 70%	0 LF (0%)
WIDTH OF LOTS IN Ft	21 TO 29 = 30%	24 LF (100%)
	30 = 70%	0 LF (0%)

**SITE DATA SUMMARY TABLE-3**

ZONING	PD-422
LOT SIZE	9.17 ACRES
LANDSCAPE AREA	125,353 SF (31%)
TOTAL IMPERVIOUS	274,234 SF (69%)
IMPACT ZONE	NORTH
NUMBER OF BUILDINGS	13
NUMBER OF UNITS	78
PARKING	
NO. OF GUEST PARKING PROVIDED	21 SPACES
NO. OF HC PARKING PROVIDED	3 SPACES

**Water Meters**

Type	Quantity	Size
Domestic	78	3/4"
Irrigation	3	1"

**BENCHMARKS**

SITE BM #1 MAG NAIL SET	ELEV =53.99
SITE BM #2 MAG NAIL SET	ELEV =53.03
CITY SOURCE BM #1: GPS MONUMENT IS LOCATED AT THE S/E CORNER OF UNDIVIDED ROAD AND THE EAST BOUND F.R. OF I.H. 20. APPROX. 100' EAST OF S.A. 01.21 #1 SHEET OF THE CL OF VINELAND RD AND 38.7' SOUTH OF THE CL OF F.R.	
CITY SOURCE BM #2: MONUMENT IS THE STATION IS LOCATED GREET NORTH FROM BACK OF CURB OF THE NORTH FRONTAGE ROAD OF I.H. 20. ACROSS FROM THE INTERSECTION OF MATTHEW ROAD AND 60 FEET SOUTHWEST FROM THE POWER POLE.	ELEV =52.49



Know what's below.  
Call before you dig.  
(@ least 48 hours prior to digging)

Item 23.

**BANNISTER ENGINEERING**  
240 North Meador Road | Marshall, TX 79068 | (817) 542-2094 | (817) 542-2094  
REGISTRATION # 10589 (TEXAS)

TRIBECA TOWNHOMES  
1550 FORUM DR.  
GRAND PRAIRIE, TEXAS

OVERALL DIMENSIONAL CONTROL PLAN

No. Date Revision Description

PERMIT SET

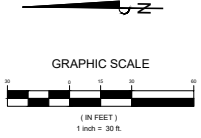


SHEET NUMBER  
C-2.1

**Exhibit B - Site Plan**  
Page 3 of 4

STATE HIGHWAY 161  
ALSO KNOWN AS PRESIDENT GEORGE BUSH TURNPIKE  
VARIABLE WIDTH RIGHT-OF-WAY

RIGHT-OF-WAY AGREEMENT  
TEXAS MIDSTREAM GAS SERVICES, L.L.C.  
INSTRUMENT NUMBER: 2007014242.6  
INSTRUMENT NUMBER 2007026054.1  
O.P.R.D.C.T.



**LEGEND**

- ACCESSIBLE PARKING SPACE
- BARRIER FREE RAMP
- LONGITUDINAL BUTT JOINT

**NOTES**

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1. INFORMATION ON THIS SHEET AND OTHER SHEETS THROUGHOUT THIS PLAN SET IS PART OF A UNIFIED DESIGN. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.
2. CONTRACTOR SHALL REFERENCE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION. INFORMATION ON THE GENERAL NOTES SHEET IS PART OF A UNIFIED DESIGN AND IS PERTINENT TO THIS PLAN SHEET.
3. CONTRACTOR SHALL REFERENCE ALL IRRIGATION PLANS, MEP SITE PLANS, AND CIVIL ENGINEERING UTILITY PLANS FOR INFORMATION REGARDING BUELVES BENEATH PAVEMENT.

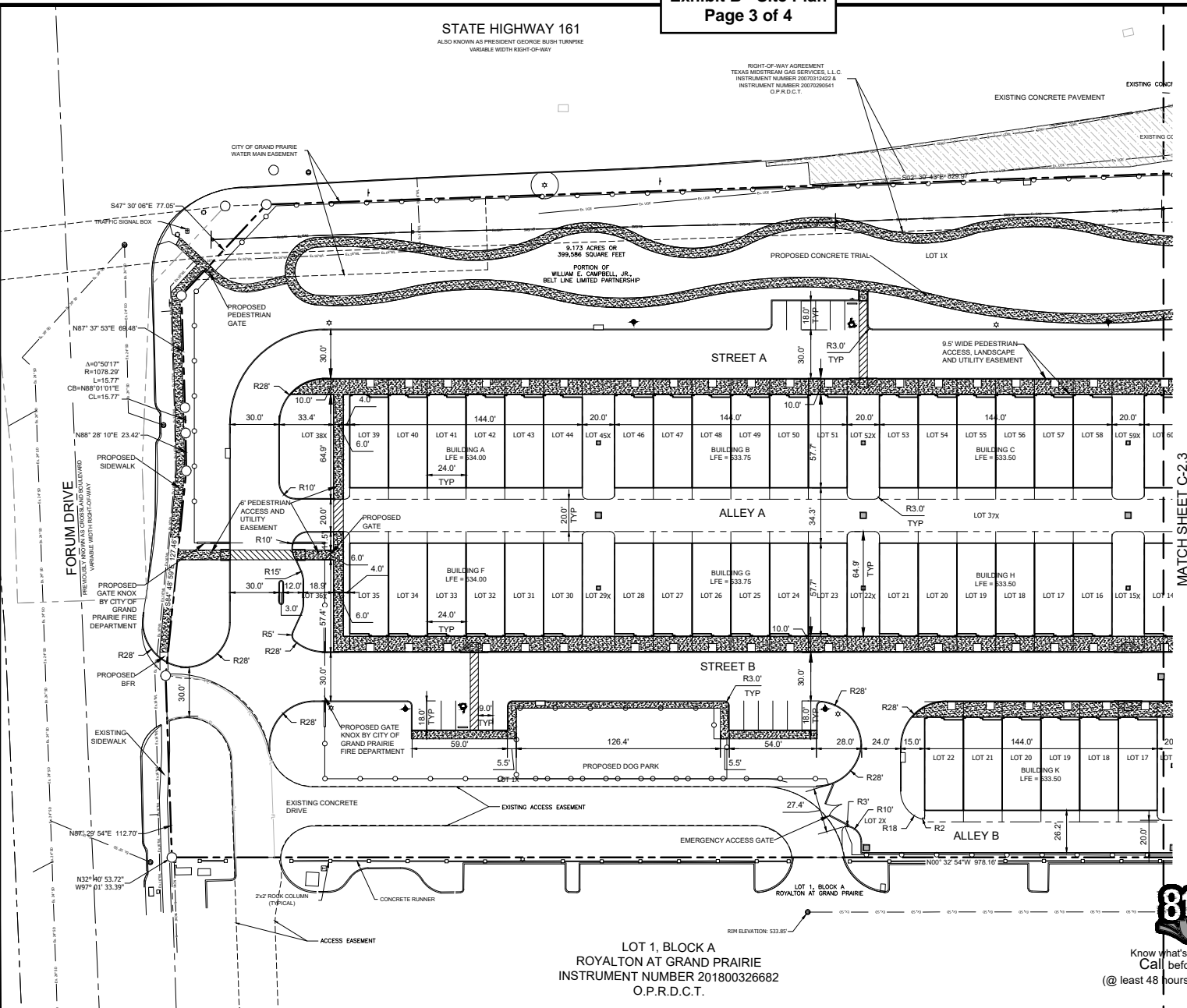
**BENCHMARKS**

SITE BM #1 MAG NAIL SET	ELEV = 530.99'
SITE BM #2 MAG NAIL SET	ELEV = 533.02'
CITY SOURCE BM #1: GPS MONUMENT IS LOCATED AT THE S/E CORNER OF UNDIVIDED ROAD AND THE EAST BOUND F.R. OF I.H. 20. APPROX. 100' EAST OF S.H. 61, 21.8' WEST OF THE CL OF VINEYARD RD AND 38.7' SOUTH OF THE CL OF F.R.	
CITY SOURCE BM #2: MONUMENT IS THE STATION IS LOCATED 88.5' NORTH FROM BACK OF CURB OF THE NORTH FRONTAGE ROAD OF I.H. 20, ACROSS FROM THE INTERSECTION OF MATTHEW ROAD AND 60 FEET SOUTHWEST FROM THE POWER POLE.	ELEV = 530.49'



Know what's below.  
Call before you dig.  
(@ least 48 hours prior to digging)

LOT 1, BLOCK A  
ROYALTON AT GRAND PRAIRIE  
INSTRUMENT NUMBER 201800326682  
O.P.R.D.C.T.



Item 23.



TRIBECA TOWNHOMES  
1550 FORUM DR.  
GRAND PRAIRIE, TEXAS

DIMENSIONAL CONTROL PLAN 1 OF 2

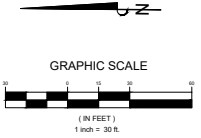
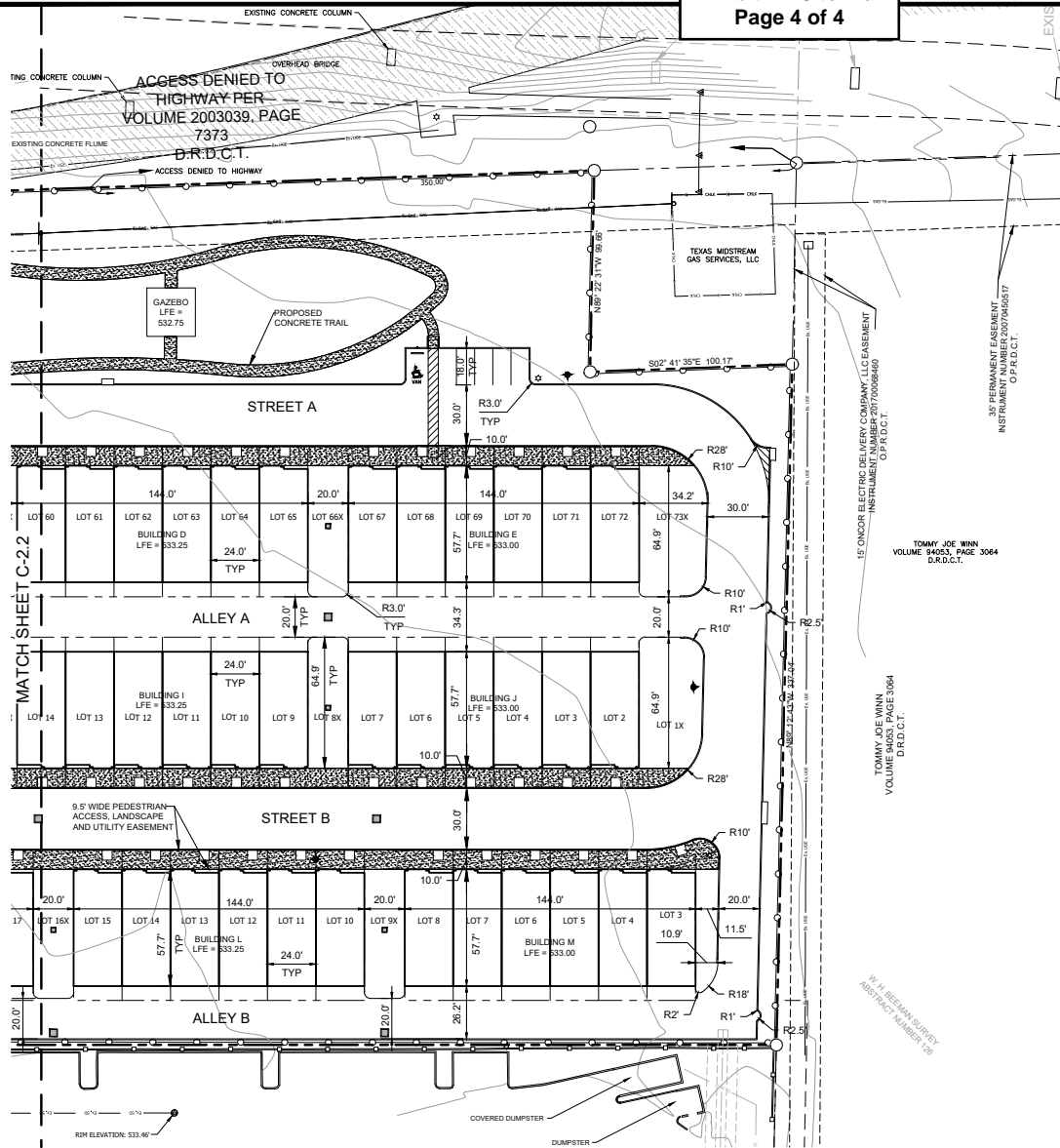
No.	Date	Revision Description



SHEET NUMBER  
**C-2.2**

File: \3\Projects\119\jardine\jardine\proposal\119\_20-01\_Townhomes - grand prairie\CD\Market - 6/23/21\_Dimensional Control and Parking Plan.dwg | Date Plotted: 4/20/2023 9:46:AM | Plotted By: rdjones

**Exhibit B - Site Plan**  
Page 4 of 4



**LEGEND**

	ACCESSIBLE PARKING SPACE
	BARRIER FREE RAMP
	LONGITUDINAL BUTT JOINT

- NOTES**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  2. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY.
  3. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES.
  4. ALL SIDEWALKS TO BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.0%.

- NOTES TO CONTRACTOR**
1. INFORMATION ON THIS SHEET AND OTHER SHEETS THROUGHOUT THIS PLAN SET IS PART OF A UNIFIED DESIGN. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.
  2. CONTRACTOR SHALL REFERENCE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION. INFORMATION ON THE GENERAL NOTES SHEET IS PART OF A UNIFIED DESIGN AND IS PERTINENT TO THIS PLAN SHEET.
  3. CONTRACTOR SHALL REFERENCE ALL IRRIGATION PLANS, MEP SITE PLANS, AND CIVIL ENGINEERING UTILITY PLANS FOR INFORMATION REGARDING SLEEVES BENEATH PAVEMENT.

**BENCHMARKS**

SITE BM #1 MAG NAIL SET	ELEV=530.99'
SITE BM #2 MAG NAIL SET	ELEV=533.03'
CITY SOURCE BM #1: GPS MONUMENT 18 LOCATED AT THE S/E CORNER OF VINEYARD ROAD AND THE EAST BOUND F.R. OF I.H. 20. APPROX. 100' EAST OF S.W. 1/4, 21.9' MEET OF THE CL. OF VINEYARD RD AND 38.7' SOUTH OF THE CL. OF F.R.	
ELEV=530.49'	
CITY SOURCE BM #2: MONUMENT 51 THE STATION IS LOCATED 65 FEET NORTH FROM BACK OF CURB OF THE NORTH FRONTAGE ROAD OF I.H. 20, ACROSS FROM THE INTERSECTION OF MATTHEW ROAD AND 60 FEET SOUTHWEST FROM THE POWER POLE.	
ELEV=533.01'	



Know what's below.  
Call before you dig.  
(@ least 48 hours prior to digging)

Item 23.

**BANISTER ENGINEERING**  
240 North Maple Road | Marshall, TX 75683 | P: 781.294.8111  
REGISTRATION # F-10589 (TEXAS)

TRIBECA TOWNHOMES  
1550 FORUM DR.  
GRAND PRAIRIE, TEXAS

DIMENSIONAL CONTROL PLAN 2 OF 2

No.	Date	Revision Description



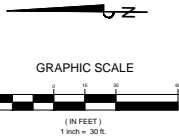
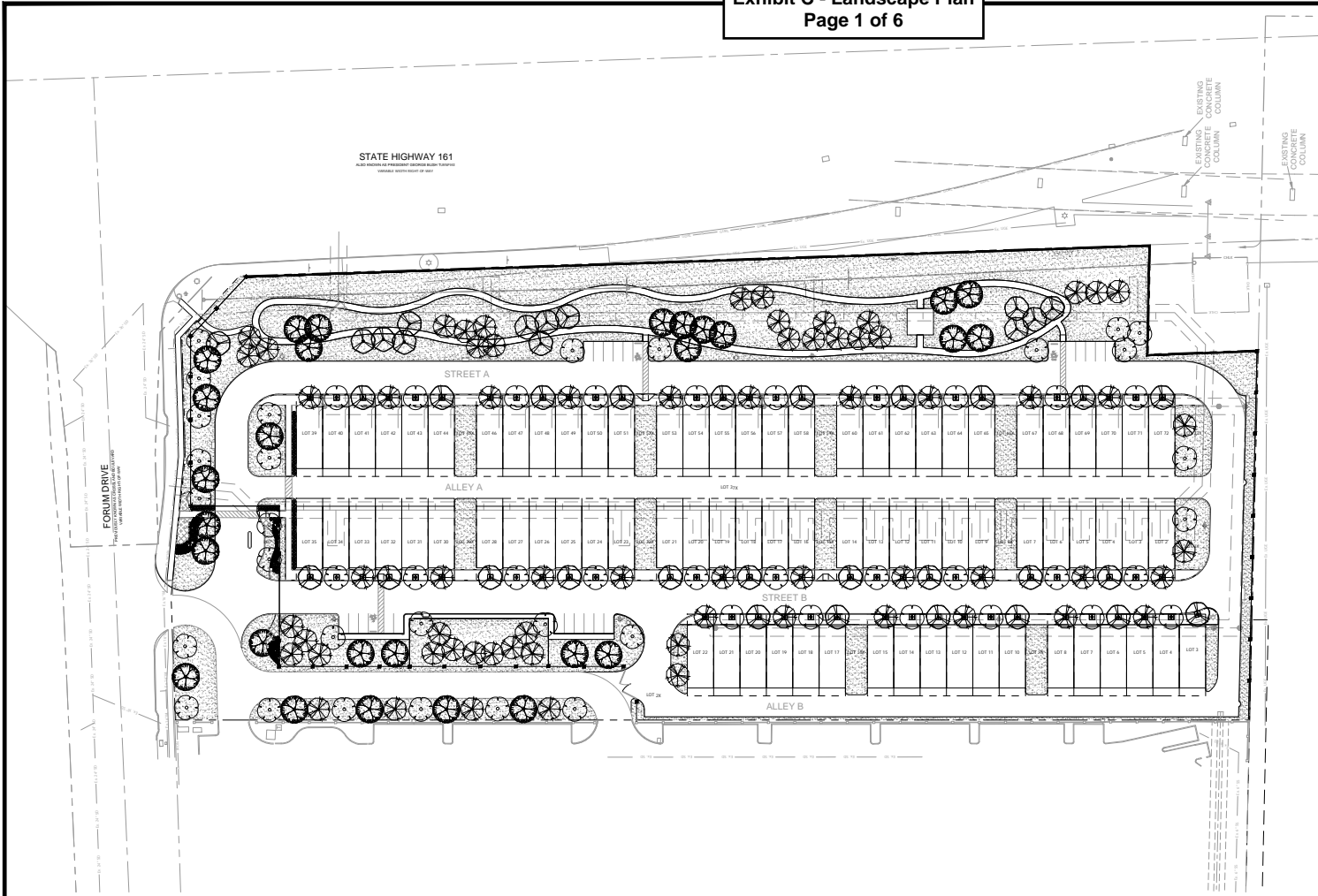
PERMIT SET

SHEET NUMBER

C-2.3

File Path: C:\Users\jason\OneDrive\Documents\1550 Forum Townhomes - grand prairie\DWG\Sheet\_4020223-9-6-AM.dwg | Date Plotted: 4/20/2023 9:46:AM | Plotted By: jason

**Exhibit C - Landscape Plan**  
Page 1 of 6



**PLANT SCHEDULE**

TREES	CODE	BOTANICAL / COMMON NAME
	PC	PISTACIA CHINENSIS CHINESE PISTACHE
	QS	QUERCUS SHUMARDII SHUMARD RED OAK
	QV	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	UC	ULMUS CRASSIFOLIA CEDAR ELM

SHRUBS	CODE	BOTANICAL / COMMON NAME
	AR	ABELIA X 'ROSE CREEK' ROSE CREEK ABELIA
	LG	LEUCOPHYLLUM FRUTESCENS TEXAS RANGER
	NT	NASSELLA TENUISSIMA 'PONY TAILS' MEXICAN FEATHER GRASS

GROUND COVERS	CODE	BOTANICAL / COMMON NAME
	CT	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS
	EP	ELONYMUS COLORATUS PURPLE WINTERCREEPER
	HBZ	HESPERALOE PARVIFLORA 'PERPA' TM BRAKELIGHTS RED YUCCA

**FENCING LEGEND**

	6" PRE-CAST CONCRETE MASONRY WALL
	6" ORNAMENTAL METAL FENCE W/ MASONRY COLUMNS @ 40' - 50' O.C.

**LANDSCAPE TABULATIONS**

Requirement	Calculation	Totals	Meets
Landscape Area Required SF	10%	38,950	Yes
Landscape Area Provided SF		125,353	
Required Open Space Trees	1/2500sf	110	Yes
Provided Open Space Trees	dec. area	110	
Required 3" cal. Tree planted in front yard	1 Per Lot	78	Yes
Provided 3" cal. Tree planted in front yard		78	
Required 3" cal. Tree planted elsewhere in development	1 Per Lot	78	Yes
Provided 3" cal. Tree planted elsewhere in development		110	
Required Street & Buffer Trees	1/25-50ft	9	Yes
Provided Street & Buffer Trees Provided		9	
Required Parking Lot Trees	1 per 20	2	Yes
Provided Parking Lot Trees	spaces	8	
Required Front Yard Shrubs (By Builder)	30 gallons	8	Yes
Provided Front Yard Shrubs (By Builder)	per lot	✓	

**BENCHMARKS**

SITE BM #1 MAG NAIL SET	ELEV = 430.99
SITE BM #2 MAG NAIL SET	ELEV = 433.03
CITY SOURCE BM #1: GPS MONUMENT 18 LOCATED AT THE S/E CORNER OF UNDEVELOPED ROAD AND THE EAST BOUND F.R. OF I.H. 20. APPROX. 100' EAST OF S.M. CL, 2.8' WEST OF THE CL OF UNDEVELOPED ROAD AND 38.7' SOUTH OF THE CL OF F.R.	
ELEV = 430.49	
CITY SOURCE BM #2: MONUMENT 51 THE STATION IS LOCATED 6 FEET NORTH FROM BACK OF CURB OF THE NORTH FRONTAGE ROAD OF I.H. 20, ACROSS FROM THE INTERSECTION OF MATTHEW ROAD AND 60 FEET SOUTHWEST FROM THE POWER POLE.	
ELEV = 433.01	



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(@ least 48 hours prior to digging)

CASE NO: STP-22-03-0015



TRIBECA TOWNHOMES  
1550 FORUM DR.  
GRAND PRAIRIE, TEXAS  
OVERALL LANDSCAPE PLAN

No.	Date	Revision Description

**PERMIT SET**

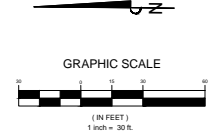
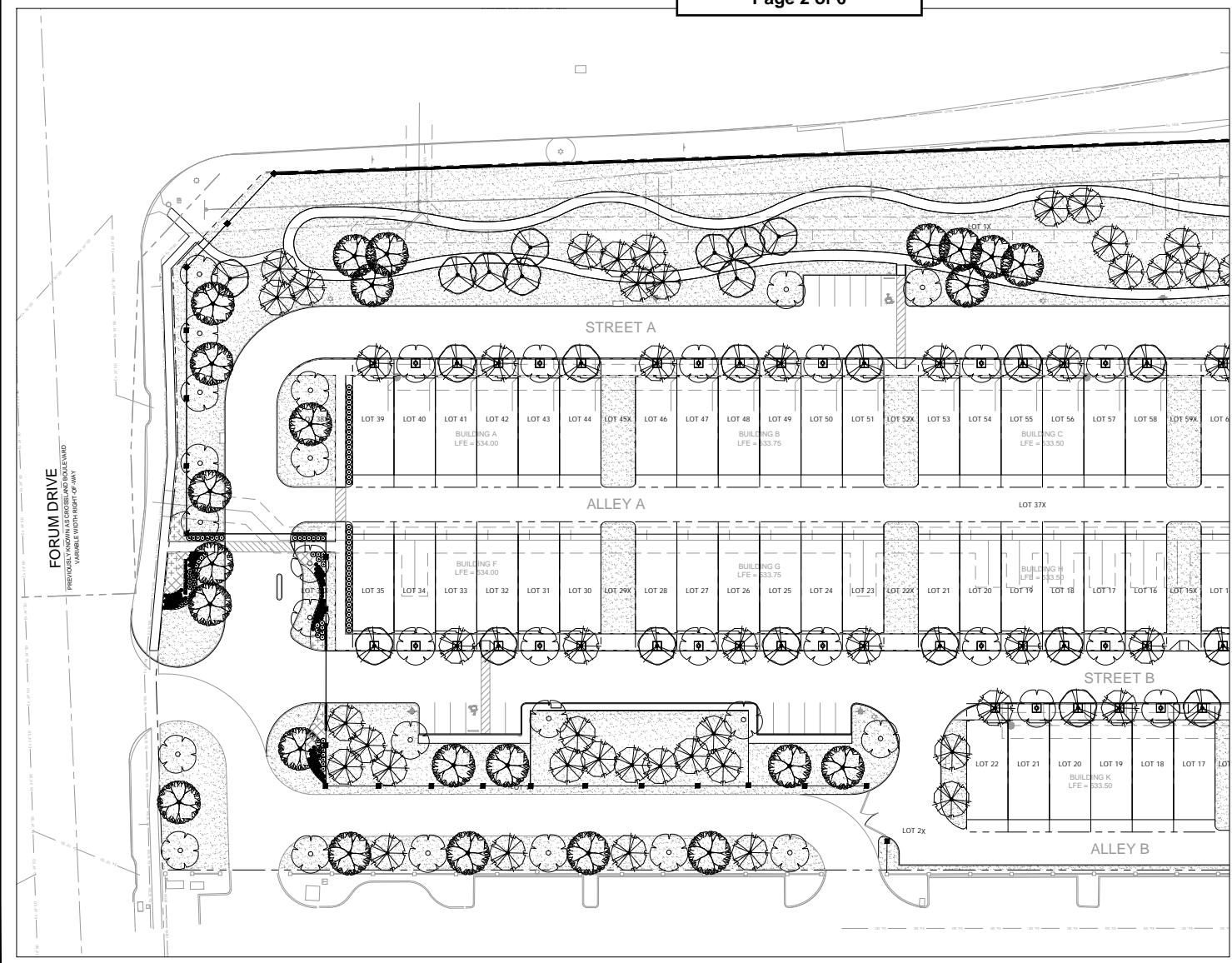
NO.	DATE	REVISION DESCRIPTION	BY	CHKD.

**PRELIMINARY**

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103  
L-1.0

File: B:\Client\19\Auriferm\_Corporation\19-23-001 (Forum Townhomes - Grand Prairie)\CHS\Sheet Set\10\_Landscape Plan - ANCH D.rvtg | Date Plotted: 4/20/2022 10:08 AM | Plotted by: rmlshun



PLANT SCHEDULE

- | TREES         | CODE | BOTANICAL / COMMON NAME                                   |
|---------------|------|---|
|               | PC   | PISTACIA CHINENSIS<br>CHINESE PISTACHE                    |
|               | QS   | QUERCUS SHUMARDII<br>SHUMARD RED OAK                      |
|               | QV   | QUERCUS VIRGINIANA<br>SOUTHERN LIVE OAK                   |
|               | UC   | ULMUS CRASSIFOLIA<br>CEDAR ELM                            |
| SHRUBS        | CODE | BOTANICAL / COMMON NAME                                   |
|               | AR   | ABELIA X 'ROSE CREEK'<br>ROSE CREEK ABELIA                |
|               | LG   | LEUCOPHYLLUM FRUTESCENS<br>TEXAS RANGER                   |
|               | NT   | NASSELLA TENUISSIMA 'PONY TAILS'<br>MEXICAN FEATHER GRASS |
| GROUND COVERS | CODE | BOTANICAL / COMMON NAME                                   |
|               | CT   | CYNODON DACTYLON 'TIF 419'<br>BERMUDA GRASS               |
|               | EP   | EUNYMUS COLORATUS<br>PUNY WINTERCREEPER                   |
|               | HBZ  | HESPERALOE PARVIFLORA 'PERPA' TM<br>BRAKELIGHTS RED YUCCA |
- 
- | FENCING LEGEND | DESCRIPTION  |
|----------------|--|
|                | 6" PRE-CAST CONCRETE<br>MASONRY WALL                             |
|                | 6" ORNAMENTAL METAL FENCE<br>W/ MASONRY COLUMNS @ 40' - 50' O.C. |

MATCH SHEET L-1.2

BENCHMARKS

SITE BM #1 MAG NAIL SET	ELEV = 530.59
SITE BM #2 MAG NAIL SET	ELEV = 533.03
CITY SOURCE BM #1: GPS MONUMENT 18 LOCATED AT THE S/E CORNER OF UNVEARD ROAD AND THE EAST BOUND'Y R. OF I.H. 20. APPROX. 100' EAST OF S.H. 21, 28' WEST OF THE CL OF VINEYARD RD AND 38.7' SOUTH OF THE CL OF P.R.	ELEV = 520.49
CITY SOURCE BM #2: MONUMENT 51 THE STATION IS LOCATED 6 FEET NORTH FROM BACK OF CURB OF THE NORTH FRONTAGE ROAD OF I.H. 20, ACROSS FROM THE INTERSECTION OF MATTHEW ROAD AND 60 FEET SOUTHWEST FROM THE POWER POLE.	ELEV = 533.01



Know what's below.  
Call before you dig.  
(@ least 48 hours prior to digging)

**BANNISTER**  
ENGINEERING  
240 North Meador Road | Mansfield, TX 76063 | RT. 69 | RT. 69 | RT. 69  
REGISTRATION # F-10581 (TEXAS)

TRIBECA TOWNHOMES  
1550 FORUM DR.  
GRAND PRAIRIE, TEXAS

LANDSCAPE PLAN ENLARGEMENT

No.	Date	Revision Description

PERMIT SET

PRELIMINARY

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PROJECT NO.: 11622-001

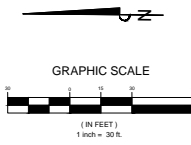
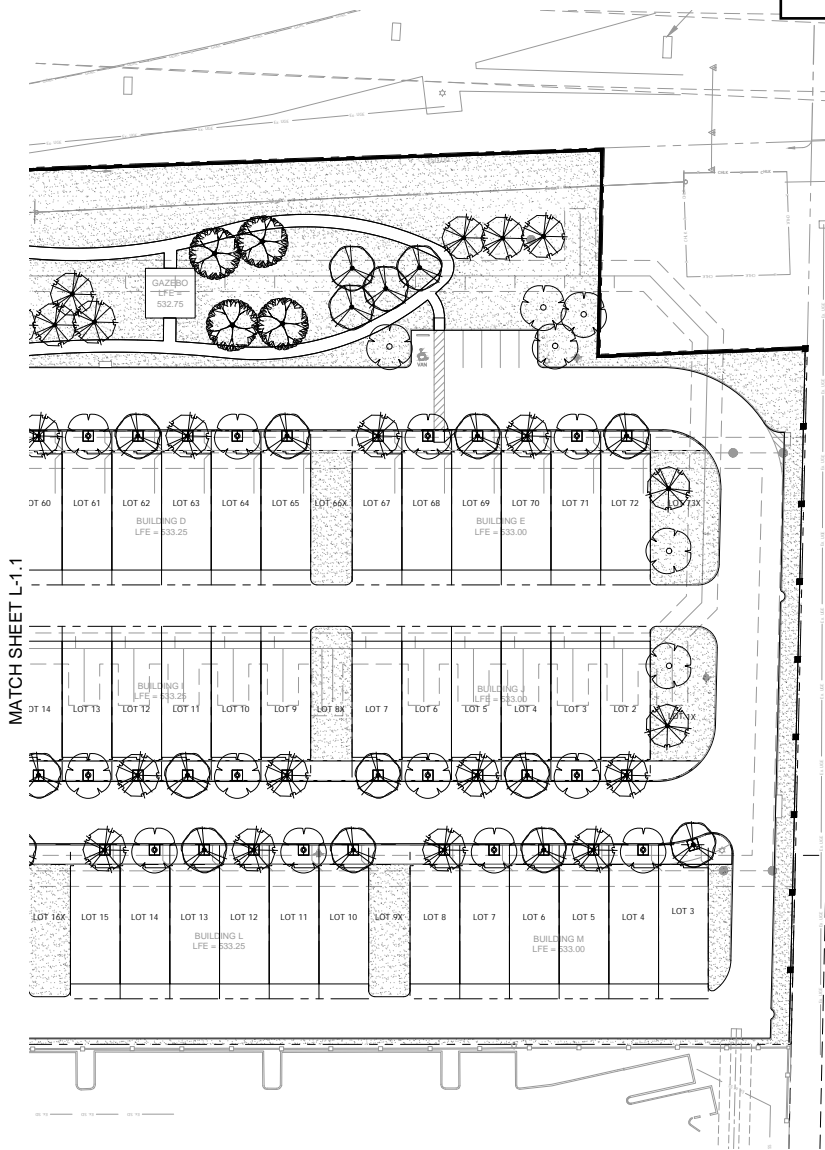
104

L-1.1

CASE NO: STP-22-03-0015



Exhibit C - Landscape Plan  
Page 3 of 6



**PLANT SCHEDULE**

TREES	CODE	BOTANICAL / COMMON NAME
	PC	PISTACIA CHINENSIS CHINESE PISTACHE
	QS	QUERCUS SHUMARDII SHUMARD RED OAK
	QV	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	UC	ULMUS CRASSIFOLIA CEDAR ELM
SHRUBS	CODE	BOTANICAL / COMMON NAME
	AR	ABELIA X 'ROSE CREEK' ROSE CREEK ABELIA
	LG	LEUCOPHYLLUM FRUTESCENS TEXAS RANGER
	NT	NASSELLA TENUISSIMA 'PONY TAILS' MEXICAN FEATHER GRASS
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
	CT	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS
	EP	EUONYMUS COLORATUS PURPLE WINTERCREEPER
	HBZ	HESPERALOE PARVIFLORA 'PERPA' TM BRAKELIGHTS RED YUCCA

**FENCING LEGEND**

6" PRE-CAST CONCRETE  
MASONRY WALL

6" ORNAMENTAL METAL FENCE  
W/ MASONRY COLUMNS @ 40' - 50' O.C.

**BENCHMARKS**

SITE BM #1 MAG NAIL SET	ELEV = 530.99
SITE BM #2 MAG NAIL SET	ELEV = 533.03
CITY SOURCE BM #1: GPS MONUMENT 18 LOCATED AT THE S/E CORNER OF VINEYARD ROAD AND THE EAST BOUND F.R. OF I.H. 20. APPROX. 100' EAST OF S.A. CL. 2.8' WEST OF THE CL OF VINEYARD RD AND 38.2' SOUTH OF THE CL OF F.R.	ELEV = 520.49
CITY SOURCE BM #2: MONUMENT 51 THE STATION IS LOCATED 6 FEET NORTH FROM BACK OF CURB OF THE NORTH FRONTAGE ROAD OF I.H. 20, ACROSS FROM THE INTERSECTION OF MATTHEW ROAD AND 60 FEET SOUTHWEST FROM THE POWER POLE.	ELEV = 533.01



Know what's below.  
Call before you dig.  
(@ least 48 hours prior to digging)

**BANNISTER**  
ENGINEERING

240 North Meador Road | Mansfield, TX 76063 | (817) 462-2941 | (817) 462-2956 fax  
REGISTRATION # F-10589 (TEXAS)

TRIBECA TOWNHOMES  
1550 FORUM DR.  
GRAND PRAIRIE, TEXAS

LANDSCAPE PLAN ENLARGEMENT

No.	Date	Revision Description

PERMIT SET

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PROJECT NO. 11622401

105











L-1.2

CASE NO: STP-22-03-0015

**Exhibit C - Landscape Plan  
Page 4 of 6**

GENERAL NOTES:

- LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE INCURRED BY HIS/HER WORK.
- CONTRACTOR SHALL ADVISE THE OWNER AND LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- IF A DISCREPANCY BETWEEN DRAWINGS AND PLANT SCHEDULE IS FOUND, THE DRAWINGS SHALL TAKE PRECEDENT OVER THE PLANT SCHEDULE.
- PLANT MATERIAL SHALL COMPLY WITH ALL SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK. CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.
- SUBSTITUTIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE ARCHITECT.
- ALL DISTURBED AREAS NOT INDICATED AS PLANTING BEDS SHALL BE SODDED OR SEEDED BY CONTRACTOR TO PROVIDE AN ESTABLISHED TURF AREA.
- CONTRACTOR SHALL REMOVE REASONABLE AMOUNT OF STONES, DEAD ROOTS, DETRITUS AND OTHER UNDESIRABLE MATERIAL FROM EXISTING SOIL.
- IF ROCKS ARE ENCOUNTERED, REMOVE TO A DEPTH OF 3" AND ADD 3" OF FRIABLE FERTILE TOPSOIL TO ALL SODDED AREAS. CONTRACTOR TO ENSURE THAT SITE IS GRADED ACCORDING TO THE ENGINEER'S GRADING PLAN.
- LAWN AREAS SHALL HAVE 3" MINIMUM FRIABLE TOPSOIL AND BE TREATED WITH FERTILIZER APPLIED AT A RATE OF 20 POUNDS PER 1,000 SQUARE FEET.
- SOIL PREPARATION FOR PLANTING BEDS SHALL BE AS FOLLOWS:  
- 3" OF ORGANIC COMPOST  
- 20 POUNDS OF ORGANIC FERTILIZER/ 1,000 SF OF BED AREA  
- TILL BED TO A DEPTH OF 6" TO 8"  
- CHECK SOIL ACIDITY. SOIL ACIDITY SHOULD RANGE FROM 5.0 TO 7.0 PH. REGULATE IF NECESSARY.
- ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM 3" OF NATIVE HARDWOOD MULCH.
- TREE PLANTING PITS SHALL BE CLEARED OF UNDESIRABLE MATERIAL AND BACKFILLED WITH PREPARED TOP SOIL. PLACE 1" OF COMPOST AND 3" OF SHREDDED HARDWOOD MULCH ON TOP OF ROOT BALL.
- THE CONTRACTOR WILL BE HELD LIABLE FOR ANY DAMAGE CAUSED TO TREES DUE TO IMPROPER STAKING METHODS, INCLUDING ABSENCE OF STAKING THROUGHOUT THE WARRANTY PERIOD.
- TREES SHALL BE PLANTED AT LEAST 2.5 FEET FROM ANY RIGHT-OR-WAY LINE, CURB, WALK OR FIRE HYDRANT, AND OUTSIDE ALL UTILITY EASEMENTS.
- TREES SHALL BE PLANTED AT LEAST 8 FEET FROM ANY PUBLIC UTILITY LINE WHERE POSSIBLE. IN THE EVENT THIS IS NOT POSSIBLE, CONTRACTOR SHALL INSTALL A ROOT BARRIER, PER THE DETAIL(S) NOTED ON THIS SHEET.
- TREES OVERHANGING WALKS AND PARKING AREAS SHALL HAVE A CLEAR TRUNK HEIGHT OF 7 FEET FROM FINISH SURFACE.
- CONTRACTOR SHALL WARRANT ANY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER THE FINAL ACCEPTANCE. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY CONDITION IN ACCORDANCE WITH THE SEASON. DEAD, DAMAGED OR DESTROYED PLANT MATERIAL SHALL BE REPLACED IN KIND WITHIN THIRTY DAYS. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON PART OF THE OWNER.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER OR WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. OVEERSPRAY ON TREES IS PROHIBITED.
- INSTALLING CONTRACTOR TO MAINTAIN LANDSCAPING FOR 30 DAYS FROM OWNER OCCUPANCY TO ESTABLISH PLANTS AND GRASS, MOWING AND TRIMMING TO BE INCLUDED.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND RE-ESTABLISHED BE SOD. THESE AREAS SHALL BE IRRIGATED AND MAINTAINED UNTIL PERMANENT STAND OF GRASS IS ACHIEVED WITH A MINIMUM OF 70% COVERAGE. THIS IS TO INCLUDE ALL AREAS TO THE BACK OF CURB AROUND THE PROPERTY.
- ANY HARDWOOD MULCHED BEDS ON SITE SHALL HAVE PERMEABLE WEED MAT INSTALLED PRIOR TO PLANT MATERIAL AND MULCH BEING INSTALLED.
- ALL BEDDING AREAS WITH GROUND COVER (ASIAN JASMINE, WINTER CREEPER, ETC.) SHALL BE TOP DRESSED WITH HARDWOOD MULCH UNTIL GROUND COVER HAS COVERED AREA COMPLETELY.
- ANY SWITCH GEAR DEVICES, ELECTRICAL TRANSFORMERS, TELEPHONE PEDESTALS, AND HVAC UNITS LOCATED ON THE PROPERTY ARE TO BE SCREENED. IF THESE DEVICES HAVE BEEN ALTERED FROM THE MOST RECENT PLANS, THE CONTRACTOR IS TO VERIFY PLACEMENT OF THESE UTILITIES AND CONTACT LANDSCAPE ARCHITECT FOR PLANT MATERIAL SPECIFICATIONS AND PLACEMENT.
- LANDSCAPE CONTRACTOR SHALL NOT PLACE TOPSOIL OR MULCH ABOVE BRICK LEDGE OF THE BUILDING AND SHALL NOT BLOCK WEEP HOLES ON THE BUILDING.
- IF THE GRADES ON SITE AT THE TIME THE LANDSCAPE CONTRACTOR IS SET TO BEGIN WORK DOES NOT ALLOW THE BRICK LEDGE AND WEEP HOLES TO REMAIN UNCOVERED, IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OR GENERAL CONTRACTOR IMMEDIATELY.

PLANT SCHEDULE							
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	GAL	SIZE	NOTES
	PC	39	PISTACIA CHINENSIS CHINESE PISTACHE	45 GAL	3'	10'-12'	FULL, MATCHING, SYMMETRICAL
	QS	28	QUERCUS SHUMARDII SHUMARD RED OAK	45 GAL	3'	10'-12'	FULL, MATCHING, SYMMETRICAL
	QV	67	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	45 GAL	3'	10'-12'	FULL, MATCHING, SYMMETRICAL
	UC	54	ULMUS CRASSIFOLIA CEDAR ELM	45 GAL	3'	10'-12'	FULL, MATCHING, SYMMETRICAL
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING	NOTES
	AR	84	ABELIA X ROSE CREEK ROSE CREEK ABELIA	3 GAL.	18" HT		
	LG	12	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' TM GREEN CLOUD TEXAS RANGER	3 GAL	24" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
	NT	107	NASSELLA TENUISSIMA 'PONY TAILS' MEXICAN FEATHER GRASS	1 GAL	12" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	NOTES			
	CT	123,267 SF	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS	SOD			
	EP	331 SF	ELYONYMUS COLORATUS PURPLE WINTERCREEPER	1 GAL., 18" O.C., TRIANGULAR SPACING			
	HB2	100	HESPERALOE PARVIFLORA 'PERPA' TM BRACKLEIGHTS RED YUCCA	1 GAL., 24" TRIANGULAR SPACING			

File: B:\Client\19\Aurifer\Map\_Corridor\19-22-001 (Forum) Townhomes - Grand Prairie\GIS\Sheet\_Sketch\_V0\_Landscape\_Plan - ARCH Dwg.rvt | Date Plotted: 12/22/2022 10:08 AM | Plotted by: mmluk



Know what's below.  
Call before you dig.  
(@ least 48 hours prior to digging)

**BENCHMARKS**

SITE BM #1 MAG NAIL SET	ELEV=+530.99
SITE BM #2 MAG NAIL SET	ELEV=+533.03
CITY SOURCE BM #1: GPS MONUMENT 18 LOCATED AT THE S.E. CORNER OF VINEYARD ROAD AND THE EAST BOUND F.R. OF I.H. 20. APPROX. 100' EAST OF S.W. 1/4 21.8' WEST OF THE CL OF VINEYARD RD AND 38.7' SOUTH OF THE CL OF F.R.	
ELEV=+520.49	
CITY SOURCE BM #2: MONUMENT 51 THE STATION IS LOCATED 66FEET NORTH FROM BACK OF CURB OF THE NORTH FRONTAGE ROAD OF I.H. 20, ACROSS FROM THE INTERSECTION OF MATTHEW ROAD AND 60 FEET SOUTHWEST FROM THE POWER POLE.	
ELEV=+533.01	



**TRIBECA TOWNHOMES**  
1550 FORUM DR.  
GRAND PRAIRIE, TEXAS

LANDSCAPE NOTES / DETAILS

No.	Date	Revision Description

**PERMIT SET**

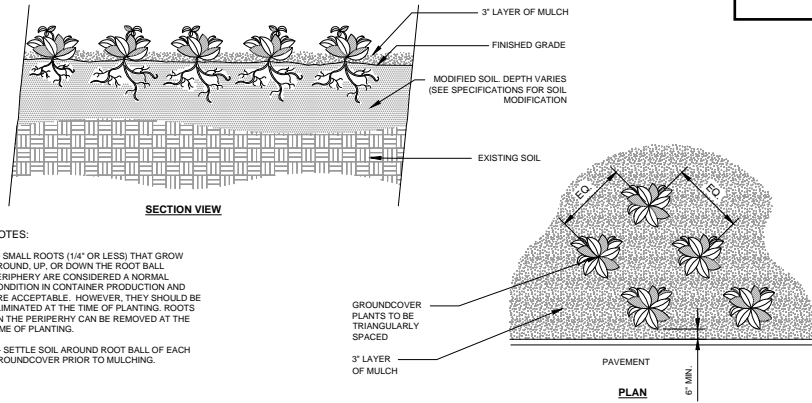
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**106**

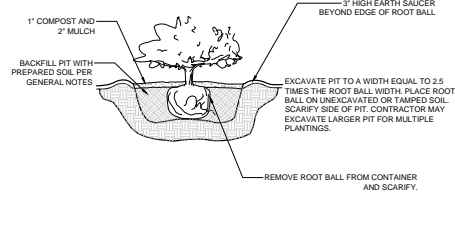
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CASE NO: STP-22-03-0015



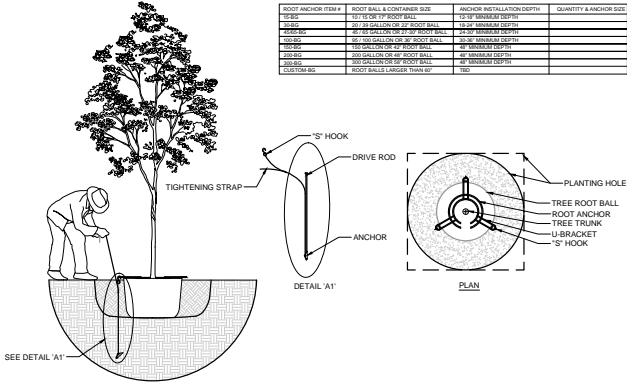
- NOTES:**
- SMALL ROOTS (1/4" OR LESS) THAT GROW AROUND UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE. HOWEVER, THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY CAN BE REMOVED AT THE TIME OF PLANTING.
  - SETTLE SOIL AROUND ROOT BALL OF EACH GROUNDCOVER PRIOR TO MULCHING.

1 GROUNDCOVER DETAIL



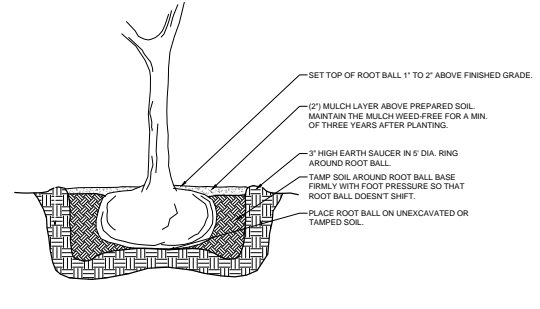
2 SHRUB PLANTING DETAIL

ROOT ANCHOR ITEM #	ROOT BALL & CONTAINER SIZE	ANCHOR INSTALLATION DEPTH	QUANTITY & ANCHOR SIZE
V-88	18" TAPER TP ROOT BALL	18" MIN. INSTALL DEPTH	
V-88	24" W/6" SHOULDER TP ROOT BALL	24" MIN. INSTALL DEPTH	
V-88	30" W/6" SHOULDER TP ROOT BALL	30" MIN. INSTALL DEPTH	
V-88	36" W/6" SHOULDER TP ROOT BALL	36" MIN. INSTALL DEPTH	
V-88	42" W/6" SHOULDER TP ROOT BALL	42" MIN. INSTALL DEPTH	
V-88	48" W/6" SHOULDER TP ROOT BALL	48" MIN. INSTALL DEPTH	
V-88	54" W/6" SHOULDER TP ROOT BALL	54" MIN. INSTALL DEPTH	
V-88	60" W/6" SHOULDER TP ROOT BALL	60" MIN. INSTALL DEPTH	
V-88	66" W/6" SHOULDER TP ROOT BALL	66" MIN. INSTALL DEPTH	
V-88	72" W/6" SHOULDER TP ROOT BALL	72" MIN. INSTALL DEPTH	



- STEP 1:**
- SET TREE IN PLANTING PIT.
  - PLACE ANCHOR WITH RING SIDE DOWN AGAINST TOP OF ROOT BALL.
  - CENTER ROOT ANCHOR'S INNER RING(S) AROUND TRUNK OF TREE.
  - ALIGN DRIVE ROD AS CLOSE AS POSSIBLE TO OUTSIDE EDGE OF U-BRACKET.
- STEP 2:**
- DRIVE ANCHOR STRAIGHT DOWN INTO UNDISTURBED SUBGRADE SOIL.
  - SEE CHART FOR RECOMMENDED DEPTHS PER TREE SIZE.
- STEP 3:**
- REMOVE DRIP ROD.
  - REPEAT STEPS 1 & 2 FOR ALL THREE (3) ANCHOR LOCATIONS.
  - PULL BACK ON STRAP APPROXIMATELY 3" FOR THE V-88 ANCHOR, OR 6" TO 7" FOR THE V-88 ANCHOR TO SET ANCHOR INTO A HORIZONTAL OR LOCKED POSITION. A FULL GRUM MAY BE REQUIRED TO ASSIST IN SETTING THE ANCHOR.
  - PLACE 5" HOOK OVER THE END OF THE U-BRACKET.
  - PULL STRAP UP VERTICALLY UNTIL ROOT ANCHOR RINGS BITE INTO THE TOP OF THE ROOT BALL AND U-BRACKETS ARE SETTING FLUSH ON TOP OF THE ROOT BALL.
  - THE EXCESS STRAP OFF TO THE U-BRACKET ALLOWING ENOUGH REMAINING STRAP TO ADJUST TREE, IF NECESSARY.

- NOTES:**
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
  - EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
  - REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF THE ROOT BALL.
  - IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE.



3 TREE STAKING DETAIL

4 TREE PLANTING DETAIL

File: B:\C:\c119\Auriferm\_Corpusculi\18-22-001 (Rev) Townhomes - Grand Prairie\CHS\Sheet 10 Landscape Plan - ANCH.Dwg | Date Plotted: 12/20/22 10:08 AM | Plotted by: maulon

**BANNISTER**  
ENGINEERING  
240 North Meador Road | Mansfield, TX 76063 | (817) 442-2941 | (817) 442-2956 fax  
REGISTRATION # F-10589 (TEXAS)

TRIBECA TOWNHOMES  
1550 FORJUM DR.  
GRAND PRAIRIE, TEXAS

LANDSCAPE DETAILS

No.	Date	Revision Description

**BENCHMARKS**

SITE BM #1 MAG NAIL SET	ELEV = 430.99
SITE BM #2 MAG NAIL SET	ELEV = 433.03
CITY SOURCE BM #1: GPS MONUMENT IS LOCATED AT THE S.E. CORNER OF UNDIVIDED ROAD AND THE EAST BOUND P.R. OF I.H. 20. APPROX. 100' EAST OF S.H. 121, 2' WEST OF THE CL OF UNDIVIDED RD AND 38.7' SOUTH OF THE CL OF P.R.	ELEV = 430.49
CITY SOURCE BM #2: MONUMENT IS THE STATION IS LOCATED 662' NORTH FROM BACK OF CURB OF THE NORTH FRONTAGE ROAD OF I.H. 20, ACROSS FROM THE INTERSECTION OF MATTHEW ROAD AND 60 FEET SOUTHWEST FROM THE POWER POLE.	ELEV = 433.01

**811**  
Know what's below.  
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**BENCHMARKS**

CITY SOURCE BM #1: GPS MONUMENT IS LOCATED AT THE S.E. CORNER OF UNDIVIDED ROAD AND THE EAST BOUND P.R. OF I.H. 20. APPROX. 100' EAST OF S.H. 121, 2' WEST OF THE CL OF UNDIVIDED RD AND 38.7' SOUTH OF THE CL OF P.R.

CITY SOURCE BM #2: MONUMENT IS THE STATION IS LOCATED 662' NORTH FROM BACK OF CURB OF THE NORTH FRONTAGE ROAD OF I.H. 20, ACROSS FROM THE INTERSECTION OF MATTHEW ROAD AND 60 FEET SOUTHWEST FROM THE POWER POLE.

ELEV = 430.99  
ELEV = 433.03  
ELEV = 430.49  
ELEV = 433.01

**PERMIT SET**

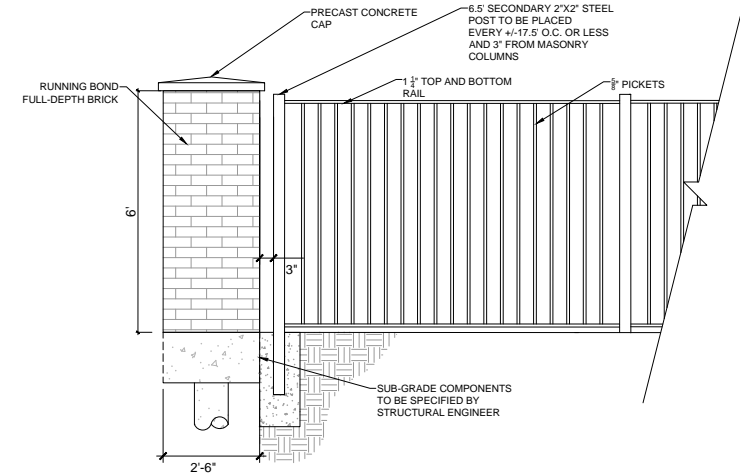
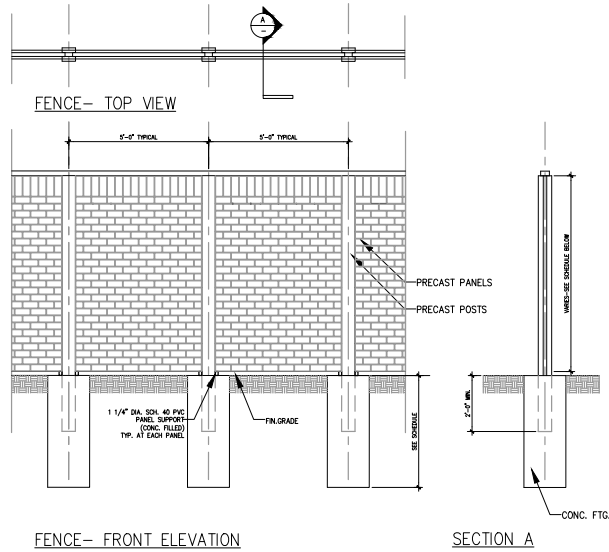
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P.L.A. NO. 107

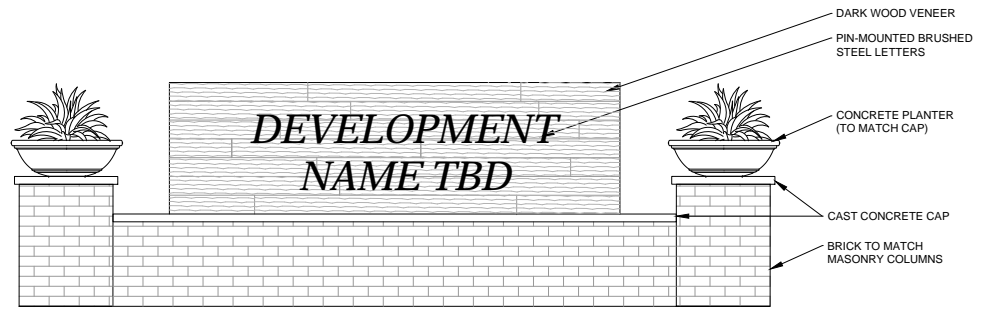
L-2.1

CASE NO: STP-22-03-0015



1 PRE-CAST CONCRETE MASONRY SCREENING WALL DETAIL (SUPERIOR CONCRETE 'BRICK' OR EQUAL)

2 ORNAMENTAL METAL FENCE WITH MASONRY COLUMNS



3 ENTRY MONUMENT SIGN

**BENCHMARKS**

SITE BM #1 MAG NAIL SET	ELEV = 430.99
SITE BM #2 MAG NAIL SET	ELEV = 433.03
CITY SOURCE BM #1: GPS MONUMENT 18 LOCATED AT THE S/E CORNER OF VINEYARD ROAD AND THE EAST BOUND F.R. OF I.H. 20. APPROX. 100' EAST OF S.W. 1/4, 21.8' MEET OF THE CL OF VINEYARD RD AND 38.7' SOUTH OF THE CL OF F.R.	
CITY SOURCE BM #2: MONUMENT 51 THE STATION IS LOCATED 6 FEET NORTH FROM BACK OF CURB OF THE NORTH FRONTAGE ROAD OF I.H. 20, ACROSS FROM THE INTERSECTION OF MATTHEW ROAD AND 60 FEET SOUTHWEST FROM THE POWER POLE.	ELEV = 430.49

**PERMIT SET**

No.	Date	Revision Description

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PROJECT NO. 11622-001

108

L-2.2

CASE NO: STP-22-03-0015



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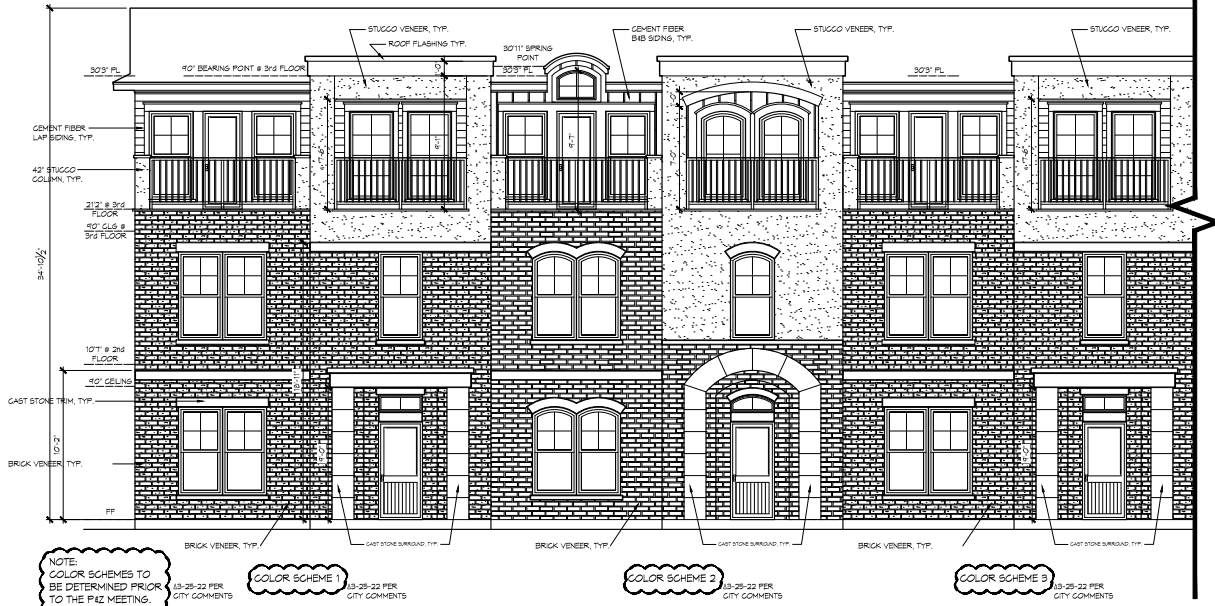
**BANNISTER**  
ENGINEERING

240 North Meador Road | Mansfield, TX 76063 | P: 817.462.2094 | F: 817.462.2095 fax  
REGISTRATION # F-10598 (TEXAS)

TRIBECA TOWNHOMES  
1550 FORUM DR.  
GRAND PRAIRIE, TEXAS  
LANDSCAPE DETAILS

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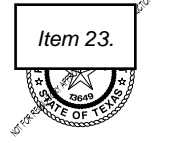
**Exhibit D - Building Elevations**  
Page 1 of 8



**MATERIAL CALCULATION**

All measurements shall be from foundation to top plates at gables.  
All measurements shall be from foundation to brick freeze at hips.

	FRONT ELEVATION	REAR ELEVATION	LEFT ELEVATION	RIGHT ELEVATION
1. Gross Area	4065	1918	1131	1229
2. Gross Area of Brick	2294	473	950	889
a. Gross Area of Brick Type 1	1320	473	950	0
b. Gross Area of Brick Type 2	1074	0	0	889
3. Area of Brick Openings	618	0	0	0
a. Area of Brick Type 1 Openings	339	0	0	0
b. Area of Brick Type 2 Openings	279	0	0	0
4. Net Brick Area	1776	473	950	889
a. Net Area of Brick Type 1	981	473	950	0
b. Net Area of Brick Type 2	795	0	0	889
5. Gross Area of Stucco	848	0	42	340
6. Area of Stucco Openings	54	0	0	0
7. Net Stucco Area	794	0	42	340
8. Gross Area of Siding	792	1445	184	23
9. Area of Siding Openings	552	180	54	0
10. Net Siding Area	240	1265	130	23
11. Cast Stone Area	231	0	0	0
12. Total Net Area	2811	1738	1128	1246
13. Stucco %	21%	0%	4%	27%
14. Siding %	8%	73%	12%	2%
15. Brick %	43%	27%	86%	71%
a. Brick % Type 1	35%	27%	64%	0%
b. Brick % Type 2	28%	0%	0%	71%
16. Cast Stone %	8%	0%	0.53%	0.48%



213589

**TRIBECA TOWNHOMES**

HWY 161  
LOT --- BLOCK ---  
--- COUNTY

DATE: 3-3-22 F/R  
3-25-22 REV

- GENERAL NOTES:**
- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
  - ARCHITECT TO OBSERVE ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
  - ALL ELECTRICAL OUTLETS AT FRET AREAS (ENCL. GARAGES) TO BE 6" H.
  - ALL EXTERIOR ELECTRICAL OUTLETS TO BE WEATHER PROOF.
  - WEATHER PROOF WITH 2" MIN. OVERLAP FROM JAMB OF EXTERIOR DOORS TO BE TERMINAL BLANK.
  - WEATHERED WALKS AT SLOPE TO BE 2% TO STUD.
  - ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF BRICK. ALL DIMENSIONS ARE FOR TOWNHOMES. F.F. IS TO FACE OF STUD.
  - PROVIDE 12" W/4" W/4" W/4" DETECTION ON ALL LOCAL CODES REQUIREMENTS.
  - PANTRY AND DOOR SIZES ARE AS INDICATED ON PLANS AT PERMITS 4 DOOR LOCATIONS.

SHEET Title:  
**FRONT ELEVATION**  
SCALE: 1/4" = 10'

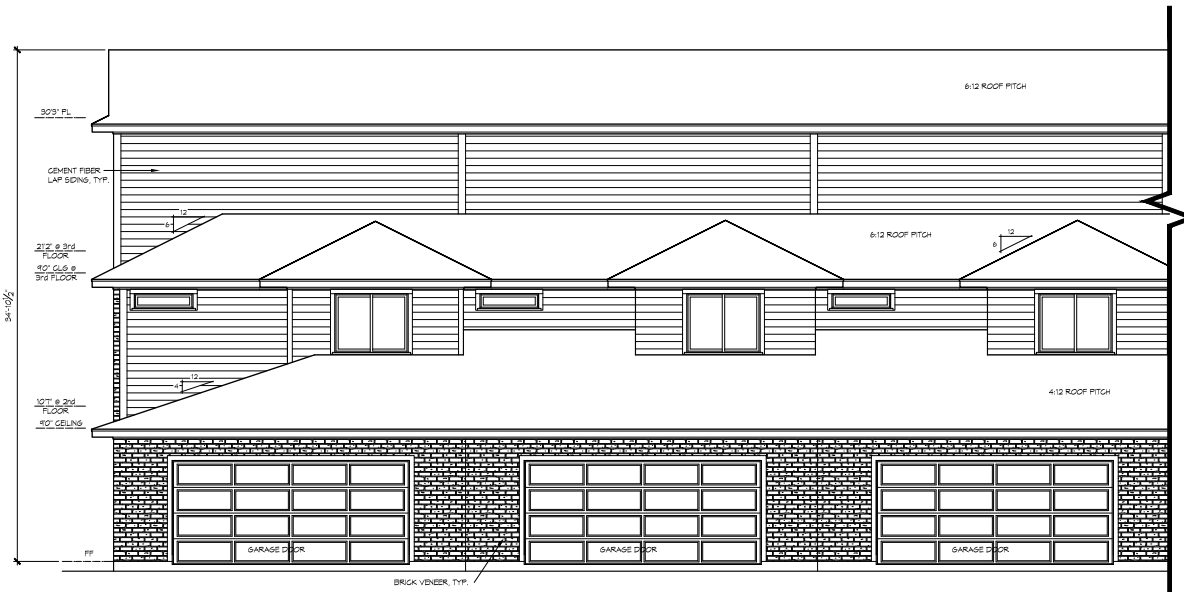


218 N. PALMANT GREEN DR. MANFORD TEXAS 76080  
917-411-0281 METRO

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SHEET No.: **A2-1**

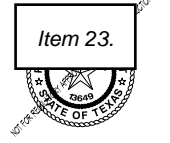
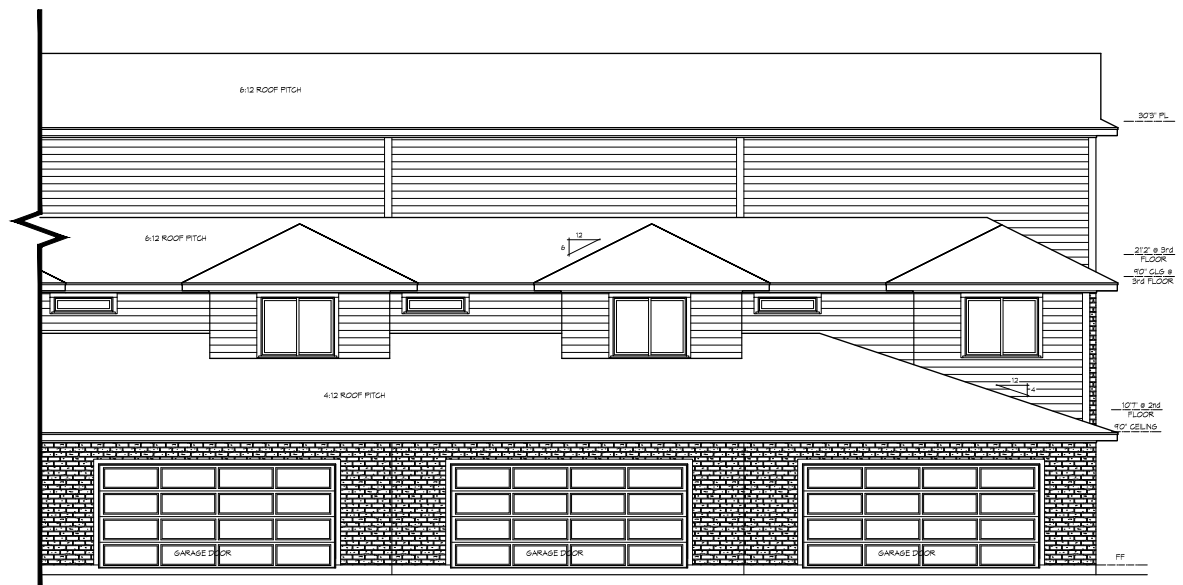




**MATERIAL CALCULATION**

All measurements shall be from foundation to top plates at gables.  
All measurements shall be from foundation to brick finish at hips.

	FRONT ELEVATION	REAR ELEVATION	LEFT ELEVATION	RIGHT ELEVATION
1. Gross Area	4066	1918	1131	1229
2. Gross Area of Brick	2394	473	950	889
a. Gross Area of Brick Type 1	1320	473	950	0
b. Gross Area of Brick Type 2	1074	0	0	889
3. Area of Brick Openings	618	0	0	0
a. Area of Brick Type 1 Openings	339	0	0	0
b. Area of Brick Type 2 Openings	279	0	0	0
4. Net Brick Area	1776	473	950	889
a. Net Area of Brick Type 1	981	473	950	0
b. Net Area of Brick Type 2	795	0	0	889
5. Gross Area of Siding	648	0	42	340
6. Area of Siding Openings	54	0	0	0
7. Net Siding Area	594	0	42	340
8. Gross Area of Sliding	792	1445	184	23
9. Area of Sliding Openings	592	180	54	0
10. NET Sliding Area	240	1265	130	23
11. Cast Stone Area	231	0	6	6
12. Total Net Area	2841	1738	1128	1246
13. Siding %	27%	0%	4%	27%
14. Sliding %	8%	73%	12%	2%
15. Brick %	63%	27%	84%	71%
a. Brick % Type 1	39%	0%	84%	0%
b. Brick % Type 2	28%	0%	0%	71%
16. Cast Stone %	8%	0%	0.63%	0.48%



213589

**TRIBECA TOWNHOMES**

Hwy 161  
LOT ---- BLOCK ----  
---- COUNTY

DATE: 3-3-22 P/R  
3-25-22 REV

- GENERAL NOTES:**
- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
  - CONTRACTOR TO OBSERVE ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
  - ALL ELECTRICAL OUTLETS AT KITCHEN AREAS (INCL. GARAGE) TO BE 120V.
  - ALL EXTERIOR ELECTRICAL OUTLETS TO BE WEATHER PROOF.
  - ALL BUILDING WITHIN 30" RANGE OF RANGE FROM JAMB OF EXTERIOR DOORS TO BE TERMINAL BLANK.
  - PAINTED FINISH AT TOILETS TO BE 210 STUDS.
  - ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF BRICK, ALL DIMENSIONS ARE FOR FORMING, P.F.
  - PROVIDE 12V WIRE IN GROSS SHADE DETECTOR OR PER LOCAL CODE REQUIREMENTS.
  - HANDS AND DOOR SEALS ARE AS INDICATED ON PLANS AT APPLICABLE LOCATIONS.

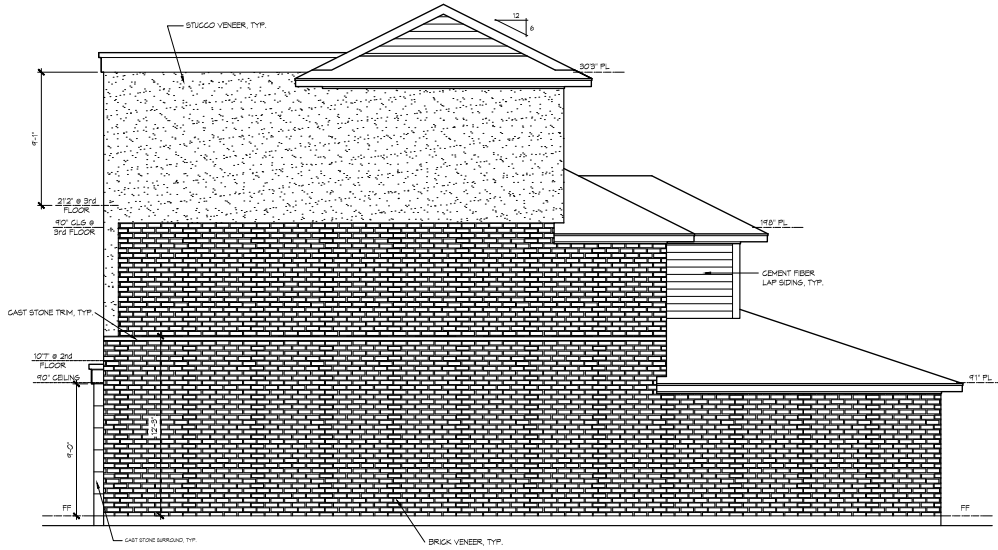
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**REAR ELEVATION**  
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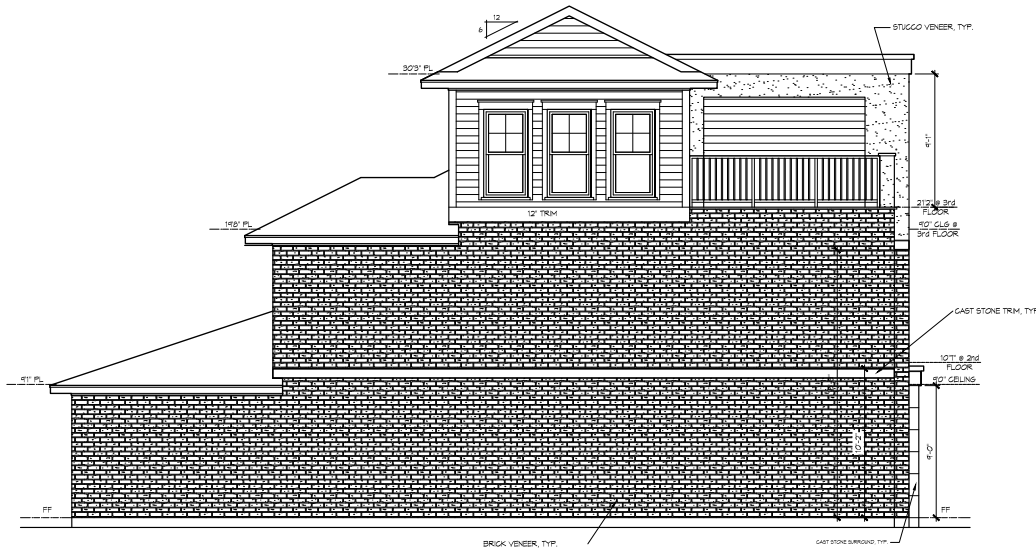
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SHEET No.:  
**A2-2**



RIGHT ELEVATION  
1/4" = 10'



LEFT ELEVATION  
1/4" = 10'

Item 23.



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TRIBECA  
TOWNHOMES

Hwy 161  
LOT ---- BLOCK ----  
----  
---- COUNTY

DATE: 3-3-22 P/R  
3-25-22 REV

- GENERAL NOTES:
1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
  2. CONTRACTOR TO OBSERVE ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
  3. ALL ELECTRICAL OUTLETS AT FRET AREAS (ENCL. SHOWN) TO BE 6" H.
  4. ALL EXTERIOR ELECTRICAL OUTLETS TO BE WEATHER PROOF.
  5. ALL BUILDING WITH 30" MIN. SETBACK FROM JAWB OF EXTERIOR DOORS TO BE TYPED GLASS.
  6. WEATHER WALLS AT TOILETS TO BE 2" MIN. STUCCO.
  7. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF BRICK, ALL DIMENSIONS ARE FOR TYPICAL 4" STUD.
  8. PROVIDE 12V WIRE IN GRESS SHADE DETECTOR ON AREA LOCAL CODE REQUIREMENTS.
  9. HANDBY AND DOOR SIZES ARE AS INDICATED ON PLANS AT WORK & DOOR LOCATIONS.

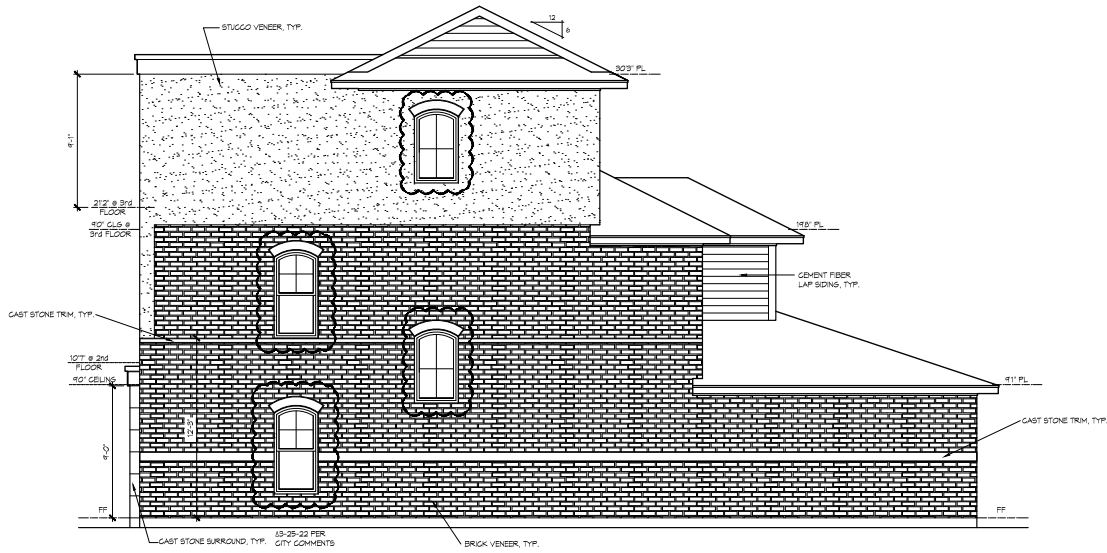
SHEET TITLE:  
LEFT & RIGHT  
ELEVATIONS  
SCALE: 1/4" = 10'



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ARCHITECTS

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SHEET No.:  
A2-3



RIGHT ELEVATION-FACING FORUM  
1/4"=1'-0"



LEFT ELEVATION-FACING FORUM  
1/4"=1'-0"

Item 23.



213589

TRIBECA  
TOWNHOMES

HWY 161  
LOT ---- BLOCK ----  
----  
---- COUNTY

DATE: 3-3-22 P/R  
3-25-22 REV

- GENERAL NOTES:
1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
  2. CONTRACTOR TO OBTAIN ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
  3. ALL ELECTRICAL OUTLETS AT FRET AREAS (ENCL. SHOWN) TO BE 6" H.
  4. ALL EXTERIOR ELECTRICAL OUTLETS TO BE WEATHER PROOF.
  5. ALL BUILDING VENTS 30" MIN. DIST. FROM JAMB OF EXTERIOR DOORS TO BE TERMINAL BLANK.
  6. PAINTED WALK AT TOILETS TO BE 30" WIDE.
  7. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF BRICK, ALL DIMENSIONS ARE FOR FINISHED.
  8. PROVIDE 12" ARIED INGRESS GAUGE DETECTOR ON WALL LOCAL CODE REQUIREMENTS.
  9. HANDBY AND DOOR SIZES ARE AS INDICATED ON PLANS AT VERN 4 DOOR LOCATIONS.

SHEET Title:  
LEFT & RIGHT  
ELEVATIONS  
FACING FORUM



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A2-4













**CITY OF GRAND PRAIRIE  
ORDINANCE**

**MEETING DATE:** 06/07/2022

**REQUESTER:** Monica Espinoza

**PRESENTER:** Savannah Ware, AICP, Chief City Planner

**TITLE:** SUP-22-03-0017 - Specific Use Permit - Taco Bell at Green Oaks (City Council District 1). Specific Use Permit for a Restaurant with a Drive Through and a Site Plan Amendment to authorize an additional drive-through lane and reconfiguration of parking for an existing Restaurant. Lot 3A2, Block A, JJ Goodwin Addition, City of Grand Prairie, Tarrant County, Texas, zoned LI District, within SH 360 Corridor Overlay District, addressed as 2815 Green Oaks Blvd (On May 9, 2022, The Planning and Zoning Commission recommended approval by vote of 8-0)

**APPLICANT:** Sarah McGowan, GPD Group Professional

**RECOMMENDED ACTION:** Approve

**SUMMARY:**

Specific Use Permit for a Restaurant with a Drive-Through and a Site Plan Amendment to authorize an additional drive-through lane and reconfiguration of parking for the existing restaurant. The 0.88-acre property is zoned Light Industrial (LI) District and is located within the SH-360 Corridor Overlay District. Lot 3A2, Block A, JJ Goodwin Addition, City of Grand Prairie, Tarrant County, Texas, addressed as 2815 Green Oaks Blvd.

**PURPOSE OF REQUEST:**

The applicant intends to construct an additional drive-through lane and revise the parking lot to accommodate the improvements to the existing restaurant. Site Plan approval by City Council is required for any project within an overlay district or planned development district. The property is within the SH-360 Corridor Overlay District. Additionally, this land use requires a Specific Use Permit approved by the Planning and Zoning Commission and City Council since an additional drive-through facility is proposed for the restaurant.

**ADJACENT LAND USES:**

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1. Zoning and Land Use**

Direction	Zoning	Existing Use
North	LI	Restaurant
South	LI	Undeveloped
West	LI	Convenience Store
East	LI	Convenience Store

**HISTORY:**

- February 10, 1995: The Planning and Zoning Commission approved a Replat for Lot 3A1 and 3A2, Block A, J.J. Goodwin Addition (Case Number RP950303).
- The restaurant was constructed in 1995.

**PROPOSED USE CHARACTERISTICS AND FUNCTION:**

The 0.88-acre site consists of an existing 2,108 sq. ft. quick-serve restaurant with a drive-through lane, parking, and landscaping. On March 18, 2022, the applicant applied for building permits to remodel Taco Bell. The remodel includes accessibility changes to the restroom, new interior finishes, new kitchen equipment, new dining room furniture, and exterior site updates.

The site updates include adding a second drive-through lane, reconfiguring parking spaces, and revising the landscaping.

Primary and secondary access from Green Oaks Boulevard. The mutual access easements remain unchanged.

**ZONING REQUIREMENTS:***Density and Dimensional Requirements*

The property is subject to density and dimensional requirements in Article 6 of the Unified Development Code (UDC). The following table summarizes these requirements. The proposal meets all the density and dimensional requirements.

**Table 2. Site Data Summary**

Standard	Required	Proposed	Meets
Min. Lot Area (Sq. Ft.)	5,000	38,516	Yes
Min. Lot Width (Ft.)	50	193	Yes
Min. Lot Depth (Ft.)	100	202	Yes
Front Setback (Ft.)	25	39.5	Yes
Rear Setback (Ft.)	0	96	Yes
Max. Height (Ft.)	25	22	Yes
Max. Floor Area Ratio (FAR)	0.35:1	0.05:1	Yes

*Parking Requirements*

The property is subject to parking requirements in Article 10 of the UDC. The following table summarizes these requirements. The proposal meets the parking requirements.

**Table 3. Parking Summary**

Standard	Required	Proposed	Meets
Restaurant Parking 2,108 Sq. Ft. (1 space per 100 Sq. Ft.)	22	24	Yes
HC Spaces	2	2	Yes
Drive-Through Queue	6	7	Yes

*Landscaping and Screening Requirements*

The site is subject to landscaping requirements of the UDC, Article 8. The site meets the minimum landscape requirement. Table 4 summarizes the landscaping requirement.

**Table 4. Landscape & Screening Requirements**

Standard	Required	Proposed	Meets
Landscape Area 10% (Sq. Ft.)	3,833	9,583	Yes
Trees (Overall Site)	8	10	Yes
Street Trees	2	2	Yes
Parking Lot Trees	3	3	Yes
Shrubs (1 5-gallon shrub per 50 Sq. ft. of required landscape area)	77	78	Yes

**VARIANCES:**

The applicant is not requesting any variances.

**RECOMMENDATION:**

- On May 9, 2022, The Planning and Zoning Commission recommended approval by vote of 8-0.
- The Development Review Committee (DRC) recommends approval of the request.

**BODY:**

**AN ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS AMENDING THE ZONING ORDINANCE AND MAP BY SHOWING THE LOCATION, BOUNDARY, AND USE OF CERTAIN PROPERTY FOR A SPECIFIC USE PERMIT FOR A RESTAURANT WITH A DRIVE THROUGH: LOT 3A2, BLOCK A, JJ GOODWIN ADDITION, CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS; SAID ZONING MAP AND ORDINANCE BEING NUMBERED ORDINANCE NUMBER 4779 AND PASSED ON NOVEMBER 20, 1990; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; PROVIDING A PENALTY; PROVIDING A SAVINGS CLAUSE AND A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE AFTER PUBLICATION**

**WHEREAS**, the owners of the property described herein below filed application with the City of Grand Prairie, Texas, petitioning an amendment of the Zoning Ordinance and Map of said city so as to amend the zoning designation of said site to include a Specific Use Permit for a Restaurant with a Drive Through; and

**WHEREAS**, the Planning and Zoning Commission of Grand Prairie, Texas, held a public hearing on said application on May 9, 2022, after written notice of such public hearing before the Planning and Zoning Commission on the proposed Specific Use Permit had been sent to owners of real property lying within 300 feet of the property on which the creation of a Specific Use Permit for a Restaurant with a Drive Through is proposed, said Notice having been given not less than ten (10) days before the date set for hearing to all such owners who rendered their said property for City taxes as the ownership appears on the last approved City Tax Roll, and such Notice being served by depositing the same, properly addressed and postage paid, in the City Post Office; and

**WHEREAS**, after consideration of said application, the Planning and Zoning Commission of the City of Grand Prairie, Texas voted 8 to 0 to recommend to the City Council of Grand Prairie, Texas, that said Zoning Ordinance and Map be amended to allow a Specific Use Permit for a Restaurant with a Drive Through; and

**WHEREAS**, Notice was given of a further public hearing to be held by the City Council of the City of Grand Prairie, Texas, in the City Hall Plaza Building at 6:30 o'clock P.M. on June 7, 2022, to consider the advisability of amending the Zoning Ordinance and Map as recommended by the Planning and Zoning Commission, and all citizens and parties at interest were notified that they would have an opportunity to be heard, such Notice of the time and place of such hearing having been given at least fifteen (15) days prior to such hearing by publication in the, Fort Worth Star Telegram, Fort Worth, Texas, a newspaper of general circulation in such municipality; and

**WHEREAS**, all citizens and parties at interest have been given an opportunity to be heard on all the matter of the Specific Use Permit and the City Council of the City of Grand Prairie, Texas, being informed as to the location and nature of the specific use proposed on said property, as well as the nature and usability of surrounding property, have found and determined that the property in question, as well as other property within the city limits of the City of Grand Prairie, Texas, has changed in character since the enactment of the original Zoning Ordinance to the extent that a specific use may be made of said property as herein provided and by reason of changed conditions, does consider and find that this amendatory Ordinance should be enacted since its provisions are in the public interest and will promote the health, safety and welfare of the community.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS THAT:**

**SECTION 1.** Ordinance Number 4779, being the Unified Development Code of the City of Grand Prairie, Texas, showing the locations and boundaries of certain districts, and said Zoning Ordinance and Map having been made a part of an Ordinance entitled:

"THE UNIFIED DEVELOPMENT CODE OF THE CITY OF GRAND PRAIRIE, TEXAS, AS PASSED AND APPROVED BY THE CITY COUNCIL ON THE 20TH DAY OF NOVEMBER, 1990, TOGETHER WITH ALL AMENDMENTS THERETO AND ENACTING A REVISED ORDINANCE ESTABLISHING AND PROVIDING FOR ZONING REGULATIONS; CREATING USE DISTRICTS IN ACCORDANCE WITH A COMPREHENSIVE PLAN..."



passed and approved November 20, 1990, as amended, is hereby further amended so as to establish a Specific Use Permit for a Restaurant with a Drive Through on 0.88 acres, and addressed as 2815 Green Oaks Boulevard, Lot 3A2, Block A, JJ Goodwin Addition, City of Grand Prairie, Dallas County, Texas, as depicted in Exhibit A - Location Map, attached hereto.

**SECTION 2.** The purpose of this Ordinance is to provide the appropriate restrictions and development controls that ensure this Specific Use Permit is compatible with the surrounding development and zoning and to also ensure that the development complies with the City's Comprehensive Plan and Unified Development Code.

**SECTION 3.** For development and operations of a Restaurant with a Drive Through, the following standards and conditions are hereby established as part of this ordinance:

1. The development shall adhere to the City Council approved Exhibit B - Site Plan, Exhibit C – Landscape Plan, which are herein incorporated by reference.
2. The applicant shall provide a lidded trash receptacle that is accessible from the drive through lane.

**SECTION 4.** The operations of a Restaurant with a Drive Through shall comply with the following:

1. By this Ordinance, this Specific Use Permit shall automatically terminate in accordance with Section 5.4.1 of the Unified Development Code if a Certificate of Occupancy is not issued for said use within one (1) year after City Council adoption of this Ordinance, or upon cessation of said use for a period of six (6) months or more.
2. It shall be unlawful for the owner, manager, or any person in charge of a business or other establishment to violate the conditions imposed by the City Council when a Specific Use Permit is granted, and the violation of those conditions could result in a citation being issued by the appropriate enforcement officers of the City of Grand Prairie. Violation of this provision may be punishable in accordance with Section 1-8 of the Code of Ordinances of the City.
3. This Specific Use Permit shall run with the land and therefore may be transferred from owner to owner; however, each new owner shall obtain a new Certificate of Occupancy.
4. The Certificate of Occupancy shall note the existence of this Specific Use Permit by its number and title.
5. The operation of the facility shall be in strict compliance with all requirements of the Environmental Services Department, Building Inspections, Police Department and Fire Administration.
6. Any unsafe or unauthorized operations or activities may be determined as grounds for revocation of the Specific Use Permit by the City Council.

**SECTION 5.** It is further provided that in the case a section, clause, sentence or part of this Ordinance shall be deemed or adjudicated by a court of competent jurisdiction to be invalid, then such invalidity shall not affect, impair or invalidate the remainder of this Ordinance.

**SECTION 6.** A violation of this Ordinance is a misdemeanor punishable in accordance with Section 1-8 of the Code of Ordinances of the City of Grand Prairie, Texas. The penalty provided herein shall be cumulative of other remedies provided by State law, and the power of injunction as provided in Texas Local Government Code Section 54.016, as amended, may be exercised in enforcing this ordinance whether or not there has been a complaint filed.

**SECTION 7.** The Unified Development Code of the City of Grand Prairie, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

**SECTION 8.** The terms and provisions of this Ordinance are severable and are governed by Section 1-4 of the Code of Ordinances of the City of Grand Prairie, Texas.

**SECTION 9.** All ordinances or parts of ordinances not consistent or conflicting with the provisions of this Ordinance are hereby repealed. Provided that such repeal shall be only to the extent of such inconsistency and in all other respects this Ordinance shall be cumulative of other ordinances regulating and governing the subject matter covered in this Ordinance.

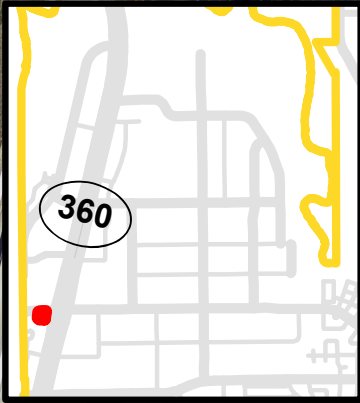
**SECTION 10.** This Ordinance shall be in full force and effect from and after its passage, approval, and publication.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, ON THIS THE 7<sup>TH</sup> DAY OF JUNE 2022.**

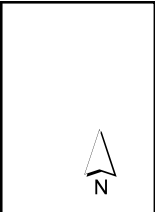
**ORDINANCE NO. #-2022**  
**SPECIFIC USE PERMIT NO. ###**  
**CASE NO. SUP-22-03-0017**

Exhibit A - Location Map  
Page 1 of 1

Item 24.

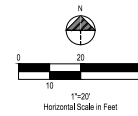


**CASE LOCATION MAP**  
**SUP-22-03-0017 - Specific Use Permit**  
**2815 Green Oaks Boulevard**



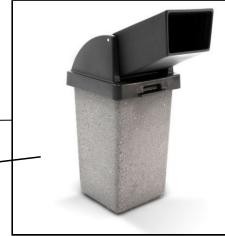
**City of Grand Prairie**  
**Development Services**  
 ☎ (972) 237-8255  
 🌐 www.gptx.org

**Exhibit B - Site Plan**  
Page 1 of 1



**LEGEND**  
(SEE SHEET C-001 FOR GENERAL LEGEND)

- PROPOSED CONCRETE PAVEMENT, SEE SHEET C-001
- CONSTRUCTION KEYNOTE
- PROPOSED PARKING SPACE NUMBER
- PROPOSED DRIVE THRU STACK CAR AND NUMBER



**PLAN KEYNOTES**

1. PROPOSED P.C.C. CURB, SEE SHEET C-001.
2. PROPOSED PAINTED TRANSVERSE STRIPING, SEE SHEET C-001.
3. PROPOSED PAINTED 4" WIDE SOLID WHITE STRIPE, SEE PAVEMENT MARKINGS AND NOTES ON SHEET C-001
4. PROPOSED PAINTED INTERNATIONAL ADA SYMBOL PER ADA SPECIFICATIONS AND SHEET C-001.
5. PROPOSED ADA ACCESSIBLE RAMP PER ADA SPECIFICATIONS AND SHEET C-002
6. PROPOSED PAINTED 4" WIDE SOLID BLUE STRIPE, SEE PAVEMENTS MARKINGS AND NOTES ON SHEET C-001.
7. PROPOSED ADA PARKING SIGN IN DETERRENT BOLLARD WITH VAN ACCESSIBLE SIGN, SEE SHEET C-001.
8. PROPOSED FROST SLAB AT EXISTING BUILDING SEE SHEET C-001 AND SEE PLAN FOR DIMENSIONS.
9. PROPOSED MENU BOARD PER SIGN SUPPLIER SPECIFICATIONS AND SHEET C-002. SIGN SUPPLIER TO PROVIDE A TEMPLATE FOR G.C. TO COORDINATE A MEETING WITH THE CONSTRUCTION PROJECT MANAGER AND OPERATORS TO VERIFY LOCATION AND PLACEMENT OF MENU BOARD AND ORDER CONFIRMATION BOARD PRIOR TO ANY CONSTRUCTION. SIGN SUPPLIER SHALL PROVIDE G.C. WITH FOUNDATION DETAILS. G.C. RESPONSIBLE FOR SIGN FOUNDATION/ELECTRICAL INSTALLATION SHALL INCLUDE PAVEMENT SENSOR LOOP, SEE ELECTRICAL DRAWINGS.
10. PROPOSED PAVEMENT SENSOR LOOP AT DRIVE THRU WINDOW, SEE ELECTRICAL DRAWINGS.
11. PROPOSED DRIVE THRU WINDOW, SEE ELECTRICAL DRAWINGS.
12. PROPOSED DIRECTIONAL PAVEMENT MARKINGS, WHITE ON ASPHALT, YELLOW ON CONCRETE. BLUE FOR ADA, SEE SHEET C-001.
13. PROPOSED ADA PARKING SIGN IN DETERRENT BOLLARD, SEE SHEET C-001.
14. PROPOSED P.C.C. WALK, SEE SHEET C-001.
15. PROPOSED P.C.C. CURBED WALK, SEE SHEET C-001.
16. PROPOSED PAINTED CROSS WALK STRIPING, SEE SHEET C-001.
17. PROPOSED 3" CURB TAPER, SEE SHEET C-001.
18. PROPOSED ADA RAMP WITH HANDRAIL, SEE SHEET C-002.
19. CONTRACTOR SHALL TRANSECT 18" TALL CONCRETE CURB TO 6" TALL CONCRETE CURB OVER ENTIRE CURB RADIUS.
20. PROPOSED 18" P.C.C. CURB, SEE SHEET C-001.
21. PROPOSED LOCATION OF SALVAGED CONCRETE WHEELSTOP.
22. CONTRACTOR SHALL PROVIDE WIDENED CONCRETE WALK FOR HAND RAIL RETURN. WALK SHALL BE WIDENED BY 6" MIN. FOR A LENGTH OF 3'.
23. PROPOSED LANDSCAPING AREA, SEE SHEET L-011.
24. CONTRACTOR SHALL PAINT EXISTING TRANS-COLORE AND GATES "SW 7033 BRN/STORM BRONZE" PER PAINT MANUFACTURER'S SPECIFICATIONS.
25. PROPOSED PAVEMENT SENSOR LOOP AT DRIVE THRU WINDOW, SEE ELECTRICAL DRAWINGS.
26. PROPOSED SIGNAGE PER SIGN SUPPLIER SPECIFICATIONS AND SHEET C-002.
27. CONTRACTOR SHALL INSTALL SIGN POST AND CRASH-RATED BOLLARD PER THE ADA PARKING SIGN DETAIL. SEE SHEET C-001. SIGN TO BE BY SIGN VENDOR.

**GENERAL SHEET NOTES**

1. ALL SIGNAGE SHALL REQUIRE A SEPARATE SIGN PERMIT APPLICATION, REVIEW AND APPROVAL.
2. ZONING: L1- LIGHT INDUSTRIAL (RESTAURANT)

**PARKING SPACES**

TOTAL NUMBER OF SPACES	REQUIRED		PROVIDED	
	1	2	1	2
22	1	21	1	21

**PARKING REQUIREMENTS**  
ONE (1) SPACE PER 100 SQUARE FEET OF DESIGNATED DINING AND WAITING AREAS, INCLUDING OUTDOOR DINING AREAS.

THEREFORE: 2,108/100 = 22 PARKING SPACES  
ADA PARKING REQUIREMENTS  
7 ADA STALLS PER 25 TOTAL PARKING STALLS  
THEREFORE: 22 / 25 = 1 SPACE REQUIRED.

**PRE-CONSTRUCTION**

LAND USE DATA	%	SITE AREA	AREA PROVIDED	
			%	AC.
IMPERVIOUS	77%	0.88 AC.	75%	0.66 AC.
PERVIOUS	23%	0.28 AC.	25%	0.32 AC.
<b>TOTAL</b>	<b>100%</b>	<b>1.16 AC.</b>	<b>100%</b>	<b>0.98 AC.</b>

**POST-CONSTRUCTION**

LAND USE DATA	%	SITE AREA	AREA PROVIDED	
			%	AC.
IMPERVIOUS	75%	0.66 AC.	75%	0.66 AC.
PERVIOUS	25%	0.32 AC.	25%	0.32 AC.
<b>TOTAL</b>	<b>100%</b>	<b>0.98 AC.</b>	<b>100%</b>	<b>0.98 AC.</b>

IMPERVIOUS AREA REDUCTION 2%



**BASIS OF BEARING:**

ALL BEARING AND DISTANCES SHOWN HEREON ARE GRID BASED ON TEXAS STATE PLANE COORDINATE SYSTEM, NAD83, NORTH CENTRAL ZONE.

**BENCHMARKS:**

BENCHMARK #1 - A 5/8" REBAR SET WITH CAP STAMPED "DEI CONTROL POINT" LOCATED IN THE GREEN SPACE SOUTH OF THE SUBJECT TRACT. BM IS APPROXIMATELY 7.7' FROM THE BACK OF CURB

ELEV = 538.09 (NAVD 88)

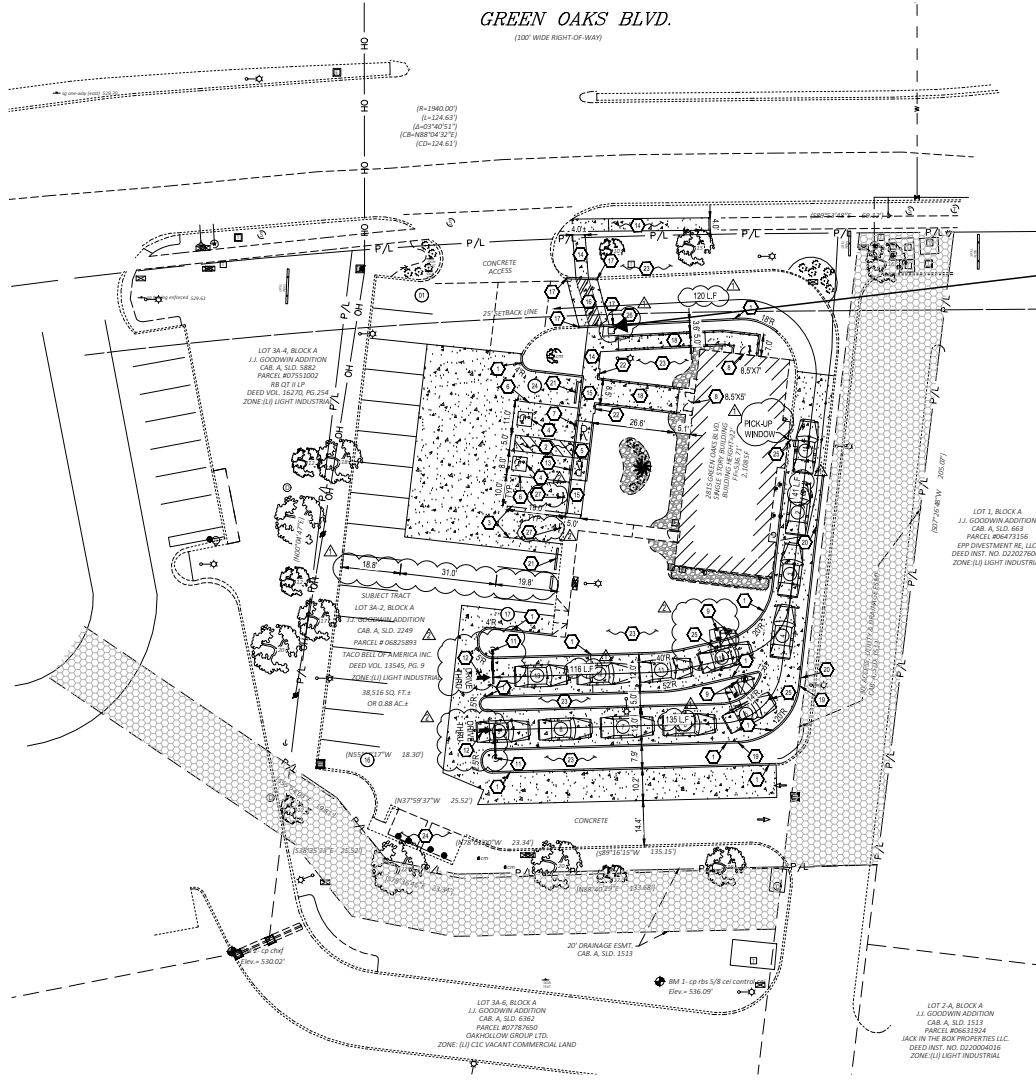
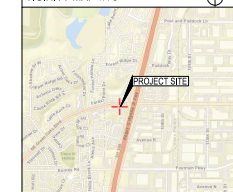
BENCHMARK #2 - A "X" FOUND IN THE CONCRETE NEAR THE CENTER OF THE CURB ALONG THE SOUTH SIDE OF THE DRIVE SOUTH OF THE SUBJECT TRACT, NEAR A GRATE INLET.

ELEV = 530.02 (NAVD 88)

**FLOODPLAIN NOTE**

THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 1% ANNUAL CHANCE (100-YEAR FLOODPLAIN) PER FEMA FIRM MAP-F5 48430C0240, AND 48490C0245, IN TARRANT COUNTY, DATED 9/21/2015.

**VICINITY MAP** N.T.S.



CASE NUMBER: SUP-22-03-0017

DATE	REMARKS
04/08/2022	ISSUED FOR PERMIT
04/18/2022	
04/29/2022	NTP COMMENTS

CONTRACT DATE: 06.16.21  
BUILDING TYPE: N/A  
PLAN VERSION: APRIL 2022  
BRAND DESIGNER:  
SITE NUMBER: xxxxxx  
STORE NUMBER: 17-322  
P/AM:  
DRAWN BY: AM  
JOB NO.: 2021088.05

**TACO BELL**  
2815 NE GREEN OAKS BLVD  
GRAND PRAIRIE, TX 75050



**MAJOR SITE PLAN**

124 1

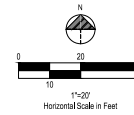
PLOT DATE:

PLANT LIST

Symbol	Botanical Name	Common Name	Qty.	Min. Size	Condition	Remarks
Ac	Abelia x chinensis 'Rose Creek'	Rose Creek Abelia	34	36" Ht.	Cont.	3' o/c
Hp	Hesperaloe parviflora	Red Yucca	9	24" Sprd., No. 5	Cont.	Per Plan
Ic	Ilex crenata 'Soft Touch'	Soft Touch Compact Japanese Holly	18	18" Sprd x 18" Ht. No. 5	Cont.	3' o/c
Li	"Lagerstroemia indica	Crape myrtle	1	10' Ht.	B&B	Multi-stem
Qm	Quercus muehlenbergii	Chinkapin Oak	1	3" Cal.	B&B	3' o/c

Asterisk (\*) denotes tree to match existing cultivar on site, or at minimum have same bloom color.

Exhibit C - Landscape Plan  
Page 1 of 1

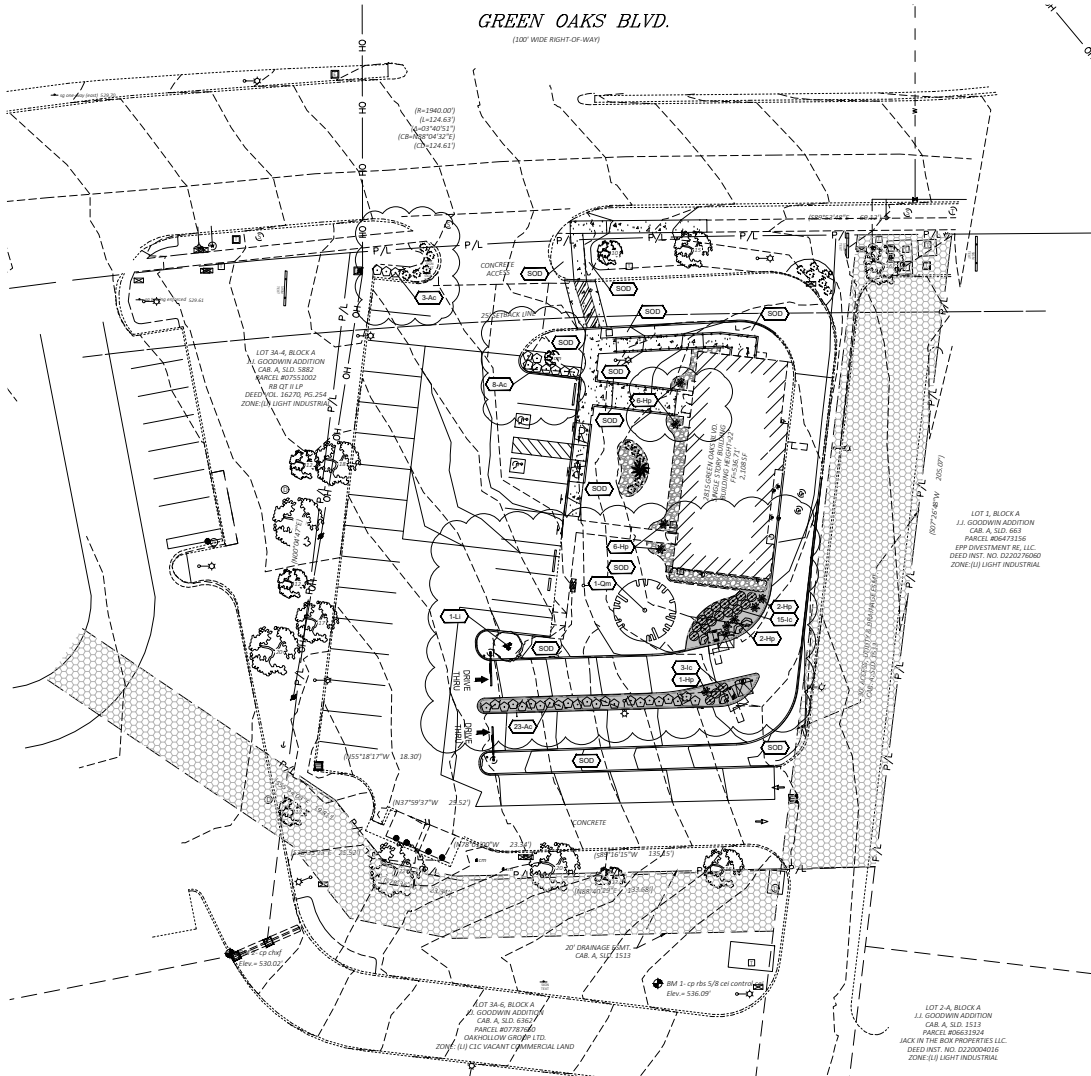


LANDSCAPE NOTES

- ALL DISTURBED AREAS NOT TO BE PAVED OR MULCHED SHALL BE SOODED PER SPECIFICATIONS.
- ALL DISTURBED AREAS WITHIN THE R.O.W. NOT TO BE PAVED, SHALL BE SEED PER THE SPECIFICATIONS.

LANDSCAPE LEGEND

- EXISTING TREE AND SIZE
- EXISTING RIVER ROCK MULCH AREA
- PROPOSED LANDSCAPE BED EDGE
- PROPOSED TREE
- PROPOSED SHRUB / SEDGE
- PROPOSED PLANT QUANTITY AND SYMBOL
- PROPOSED LAWN AREA
- PROPOSED RIVER ROCK MULCH AREA
- RE-PURPOSED BOULDER (TYP. OF 4)



CITY OF GRAND PRAIRIE, TX  
UNIFIED DEVELOPMENT CODE  
ARTICLE 8 LANDSCAPE AND SCREENING

DESCRIPTION OF PROPERTY:  
GREEN OAKS BLVD. FRONTAGE = 155 LF  
LOT SIZE = 88 AC  
BUILDING FOOTPRINT = 2,108 SF  
PROPOSED PARKING SPACES = 24 SPACES

8.3.1.2 NON-RESIDENTIAL LANDSCAPING  
REQUIRED: MINIMUM OF 75% OF ALL REQUIRED LANDSCAPE AREAS SHALL BE LOCATED IN THE FRONT YARD BETWEEN BUILDING LINE AND FRONT PROPERTY LINE.

8.4.1 LANDSCAPE IRRIGATION  
REQUIRED: THE PROVISIONS OF THIS ARTICLE ARE TO BE IN COMPLIANCE WITH TCEQ LANDSCAPE IRRIGATION RULE 2007-27-34-02, EFFECTIVE JANUARY 1, 2009, AS ESTABLISHED BY THE 80TH LEGISLATIVE SESS IN CONSULTATION WITH THE IRRIGATOR ADVISORY COUNCIL.

8.5.2 LANDSCAPING REQUIRED BY ZONING DISTRICTS - LIGHT INDUSTRIAL (LI)  
REQUIRED: 10% LANDSCAPE AREA  
TOTAL SITE = 88 AC, 3,833 SF \* .10 = 383 SF  
PROPOSED = 22 AC OF PERVIOUS = 9,383 SF = 22% LANDSCAPE AREA

8.7.1 SUBMITTALS AND REQUIREMENTS  
REQUIRED: LANDSCAPING SHALL CONSIST OF TWO OR MORE OF THE FOLLOWING TYPES OF PLANTING MATERIALS INCLUDING BUT NOT LIMITED TO PLANTED GRASS, TREES, SHRUBS, GROUNDCOVER (UP TO 40% OF LANDSCAPE AREA).

8.4.1.9 TREES: SEE CORRIDOR OVERLAY REQUIREMENTS

8.7.3.D SHRUBS  
REQUIRED: 1 FIVE GALLON SHRUB PER EVERY 50 SF OF REQUIRED LANDSCAPE  
3,833 SF = 76.6 SHRUBS  
EXISTING: 19  
PROPOSED: 61  
TOTAL SHRUBS: 78

8.8.2.4 PARKING AREAS: SEE CORRIDOR OVERLAY REQUIREMENTS

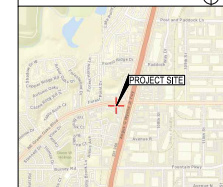
APPENDIX F: CORRIDOR OVERLAY DISTRICT STANDARDS  
SECTION 10 - LANDSCAPE REQUIREMENTS

SEC. 10(B)(2)(a) STREET TREES  
REQUIRED: 1 PER 500 SF OF REQUIRED LANDSCAPE  
TOTAL SITE = 3,833 SF \* .10 = 383 SF / 500 SF = .76 = 1 TREE REQUIRED  
EXISTING TREES ON SITE: 10 TREES

SEC. 10(B)(2)(b) PARKING LOT TREES  
REQUIRED: 1 TREE PER 10 SPACES  
24 TOTAL SPACES = 2.4 TREES  
EXISTING TREES: 1  
PROPOSED TREES: 2  
TOTAL TREES: 3

SEC. 10(C)(2) PARKING LOT SCREENING  
REQUIRED: 3 HT. PLANTING SCREEN  
PROPOSED: 3 HT. PLANTING SCREEN

VICINITY MAP N.T.S.



BASIS OF BEARING:

ALL BEARING AND DISTANCES SHOWN HEREON ARE GRID BASED ON TEXAS STATE PLANE COORDINATE SYSTEM, NAD83, NORTH CENTRAL ZONE.

BENCHMARKS:

BENCHMARK #1 - A 5" REBAR SET WITH CAP STAMPED "DEI CONTROL POINT" LOCATED IN THE GREEN SPACE SOUTH OF THE SUBJECT TRACT. BM IS APPROXIMATELY 7.7' FROM THE BACK OF CURB

ELEV = 536.09 (NAVD 86)

BENCHMARK #2 - A "X" FOUND IN THE CONCRETE NEAR THE CENTER OF THE CURB ALONG THE SOUTH SIDE OF THE DRIVE SOUTH OF THE SUBJECT TRACT, NEAR A GRATE INLET.

ELEV = 530.02 (NAVD 86)



DATE	REMARKS
04/08/2022	ISSUED FOR PERMIT
1 04/19/2022	REVISION
2 04/29/2022	NTP COMMENTS

CONTRACT DATE: 06.16.21  
BUILDING TYPE: N/A  
PLAN VERSION: APRIL 2022  
BRAND DESIGNER:  
SITE NUMBER: xxxxxx  
STORE NUMBER: 17-323  
P/PM:  
DRAWN BY: AM  
JOB NO.: 2021088.05

TACO BELL

2815 NE GREEN OAKS BLVD  
GRAND PRAIRIE, TX 75050



MAJOR  
LANDSCAPE PLAN

125

1

PLOT DATE:



## CITY OF GRAND PRAIRIE COMMUNICATION

**MEETING DATE:** 06/07/2022

**REQUESTER:** Monica Espinoza

**PRESENTER:** Savannah Ware, AICP, Chief City Planner

**TITLE:** SUP-22-03-0016 - Specific Use Permit/Site Plan – Grand Central Crossing Multi-Tenant Development with a Drive Through Bank (City Council District 2). Specific Use Permit/Site Plan for Lot 1R of Grand Central Crossing, including a multi-tenant building with a drive-through bank on 1.518 acres. Lot 1R, Block A, Grand Central Crossing Addition, City of Grand Prairie, Dallas County, Texas, zoned PD-273A, within the SH-161 Corridor Overlay District, and addressed as 2810 S HWY 161 (On May 9, 2022, the Planning and Zoning Commission recommended approval by a vote of 8-0)

**APPLICANT:** Jake Fears, JHF Engineering, PLLC.

**RECOMMENDED ACTION:** Approve with Conditions

### SUMMARY:

Specific Use Permit/Site Plan for Lot 1R of Grand Central Crossing, including a multi-tenant building with a drive-through bank on 1.518 acres. Lot 1R, Block A, Grand Central Crossing Addition, City of Grand Prairie, Dallas County, Texas, zoned PD-273A, within the SH-161 Corridor Overlay District, and addressed as 2810 S HWY 161.

### PURPOSE OF REQUEST:

The proposed multi-tenant building is for retail, restaurants, and a bank with a drive-through. The proposed 10,963 sq. ft. building consists of 2,600 sq. ft. of retail, 4,863 sq. ft. of restaurant, and 3,500 sq. ft. of bank. The proposed restaurant will provide 3,700 sq. ft. of dining area, including an indoor seating area and an outdoor patio.

A Bank with a Drive-Through requires a Specific Use Permit. The purpose of the Specific Use Permit process is to identify those uses which might be appropriate within a zoning district, but due to either their location, functional or operational nature, could have a potentially negative impact upon surrounding properties; and provide for a procedure whereby such uses might be permitted by further restricting or conditioning them to eliminate such probable negative consequences.

Site Plan approval by City Council is required for any project within an overlay district or planned development district. The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code (UDC), provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, landscaping and screening requirements, and architectural design for special districts.

### **ADJACENT LAND USES:**

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1. Zoning and Land Use**

Direction	Zoning	Existing Use
North	Planned Development PD-351	Commercial Development
South	Planned Development PD-273A	Vacant
West	SF-2	SH-161
East	Planned Development PD-273A	Commercial Development

### **HISTORY:**

- November 5, 2002: City Council approved PD-273A, a planned development for commercial, single-family, and multi-family uses (Case Numbers Z021007 & Z020701).
- August 15, 2017: The Planning and Zoning Commission approved a Final Plat for Lots 1-6, Block A, Grand Central Crossing Addition (Case Number P170501).
- September 4, 2019: The Development Review Committee administratively approved a Replat for Lots 1R & 2R, Block A, Grand Central Crossing Addition (Case Number RP190902).
- February 1, 2022: City Council denied a Specific Use Permit/Site Plan for a Restaurant with a Drive-Through for a new McDonald's Restaurant (Case Number SUP-21-11-0019).

### **PROPOSED USE CHARACTERISTICS AND FUNCTION:**

The developer intends to construct a 10,963 sq. ft. multi-tenant building. The spaces will be leased to tenants including a retail store, a restaurant, and a bank with a drive-through window.

The site will have one drive-through lane for the bank tenant. The site is generally located at the southeast corner of SH-161 and Arkansas Lane. There will be two entrances into the site with one entrance off State Highway 161 and the other off Arkansas Lane via an access drive. The Site Plan includes the building, parking spaces, fire lane, access drives, and a dumpster enclosure. Since the applicant will be required to abandon an existing access easement, an amending plat will be required.

### **ZONING REQUIREMENTS:**

#### *Density and Dimensional Requirements*

The property is subject to density and dimensional requirements in PD-273A and Article 6 of the Unified Development Code (UDC). The following table summarizes these requirements. The proposal meets the density and dimensional requirements.

**Table 2. Site Data Summary**

Standard	Required	Proposed	Compliance
Min. Lot Area (Sq. Ft.)	5,000	66,112	Yes
Min. Lot Width (Ft.)	50	205	Yes
Min. Lot Depth (Ft.)	100	331	Yes
Front Setback (Ft.)	25	85	Yes
Rear Setback (Ft.)	0	42	Yes
Side Setback (Ft.)	10	85	Yes
Max. Height (Ft.)	25	25	Yes
Max. Floor Area Ratio (FAR)	0.5:1	0.17:1	Yes

### *Parking Requirements*

The property is subject to parking requirements in Article 10 and Appendix F of the UDC. Appendix F states that the parking calculations in Article 10 of the Unified Development shall serve as parking maximums. The number of parking spaces shall not exceed the parking maximum without approval by the City Council and a compensatory measure from Appendix F. The applicant is asking for a reduction of 6 parking spaces which is a 14% reduction of the required standard and can be administratively approved. Staff has no objection to this request.

The following table summarizes parking requirements.

**Table 3. Parking Summary**

Standard	Required (Maximum)	Proposed	Meets
Bank (1 space per 325 Sq. Ft)	11	11	Yes
Retail (1 space per 275 Sq. Ft)	10	10	Yes
Restaurant Parking (1 space per 100 Sq. Ft.)	37	26	No
<b>Total Parking (Maximum allowed)</b>	58	52*	No

\* Section 10.13.1 The Development Review Committee (DRC) may approve a reduction not exceeding 15% of the total number of parking spaces required by Article 10.

### *Landscape and Screening*

The property is subject to landscape and screening requirements in Article 8 and Appendix F of the UDC. The table below summarizes these requirements. The proposal meets or exceeds the landscape and screening requirements.

**Table 5. Landscape & Screening Requirements**

Standard	Required	Provided	Meets
Landscape Area (%)	10% (6,611 Sq. Ft.)	21% (13,690 Sq. Ft.)	Yes
Front Yard 75% of Required Landscape in Front Yard	Yes	Yes	Yes
Total Street, Buffer, Parking, and Pedestrian Walkway Trees	46	46	Yes



Shrubs (1 5-gallon shrub per 50 Sq. Ft. of required landscape area)	102	102	Yes
Landscape Buffer (Ft.)	30	30	Yes
Flowering and Colorful Plants (Gal.)	Yes	Yes	Yes

*Building Design*

The exterior building materials include stone, brick, stucco, and metal accents. Appendix F contains two window requirements. The first is that facades shall consist of windows in an area that equals 50% of the overall vertical surface of all facades or that equals 50% of the length of all facades. The second requirement is that windows shall account for 30% of the area of street-facing facades. The proposed building elevations meet these requirements. Appendix F generally seeks to avoid blank exterior walls without architectural features and finishes, changes in material, and articulation. This proposal does provide articulation features along with stone accents to give the building definition.

The proposed building design meets Appendix F requirements.

*Appendix F Checklist*

Appendix F requires that applicants provide Menu Items from four categories: Usable Open and Pedestrian Walkways; Site Design and Building Orientation; Building Design; and Healthy, Smart, and Sustainable Community. The table below lists the Menu Items included in the proposal. The proposal includes 13 Menu Items and meets the Appendix F Menu Items requirements.

**Table 6. Appendix F Menu Items**

Category	Amenity
Site Design and Building Orientation	Parking Lot Trees
Site Design and Building Orientation	Strategic Parking
Building Design	Color Contrast
Building Design	Specialty Accent
Building Design	Corner Treatment
Building Design	Articulated Public Entrance
Building Design	Roof Profile Variation
Building Design	Articulation Elements
Building Design	Enhanced Windows
Building Design	Canopy Variation
Healthy, Smart & Sustainable Community	Green Infrastructure
Healthy, Smart & Sustainable Community	30% Native Plants (.5)
Healthy, Smart & Sustainable Community	Pollinator Friendly Flowers (.5)

**VARIANCES:**

The following variance is requested:

1. Parking area location - Appendix F states that all parking or drive areas shall be located a minimum of 30 feet from right-of-way lines along public streets. The western parking area is located 25 feet from the right-of-way line.

**ANALYSIS:**

Staff does not object to this request. An additional 24-foot-wide grass strip exists inside the TxDOT right-of-way. The proposed parking area is approximately 50 feet away from the edge of the curb.

**RECOMMENDATION:**

- The Planning and Zoning Commission recommended approval with the staff condition by a vote of 8-0
- The Development Review Committee (DRC) recommends approval with the condition that the developer shall submit an amending plat for the abandonment and/or relocation of the internal access easement. This plat shall be recorded before the issuance of a building permit.

**BODY:**

**AN ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS AMENDING THE ZONING ORDINANCE AND MAP BY SHOWING THE LOCATION, BOUNDARY, AND USE OF CERTAIN PROPERTY FOR A SPECIFIC USE PERMIT FOR A BANK WITH A DRIVE-THROUGH WITHIN THE SH-161 OVERLAY DISTRICT: BEING LOT 1R, BLOCK A, GRAND CENTRAL CROSSING ADDITION, CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS; SAID ZONING MAP AND ORDINANCE BEING NUMBERED ORDINANCE NUMBER 4779 AND PASSED ON NOVEMBER 20, 1990; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; PROVIDING A PENALTY; PROVIDING A SAVINGS CLAUSE AND A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE AFTER PUBLICATION**

**WHEREAS**, the owners of the property described herein below filed application with the City of Grand Prairie, Texas, petitioning an amendment of the Zoning Ordinance and Map of said city so as to amend the zoning designation of said site to include a Specific Use Permit for a Bank with a Drive-Through; and

**WHEREAS**, the Planning and Zoning Commission of Grand Prairie, Texas, held a public hearing on said application on May 9, 2022, after written notice of such public hearing before the Planning and Zoning Commission on the proposed Specific Use Permit had been sent to owners of real property lying within 300 feet of the property on which the creation of a Specific Use Permit for a Bank with a Drive-Through is proposed, said Notice having been given not less than ten (10) days before the date set for hearing to all such owners who rendered their said property for City taxes as the ownership appears on the last approved City Tax Roll, and such Notice being served by depositing the same, properly addressed and postage paid, in the City Post Office; and

**WHEREAS**, after consideration of said application, the Planning and Zoning Commission of the City of Grand Prairie, Texas voted 8 to 0 to recommend to the City Council of Grand Prairie, Texas, that said Zoning Ordinance and Map be amended to allow a Specific Use Permit for a Bank with a Drive-Through; and

**WHEREAS**, Notice was given of a further public hearing to be held by the City Council of the City of Grand Prairie, Texas, in the City Hall Plaza Building at 6:30 o'clock P.M. on June 7, 2022, to consider the advisability of amending the Zoning Ordinance and Map as recommended by the Planning and Zoning Commission, and all citizens and parties at interest were notified that they would have an opportunity to be heard, such Notice of the time and place of such hearing having been given at least fifteen (15) days prior to such hearing by publication in the, Fort Worth Star Telegram, Fort Worth, Texas, a newspaper of general circulation in such municipality; and

**WHEREAS**, all citizens and parties at interest have been given an opportunity to be heard on all the matter of the Specific Use Permit and the City Council of the City of Grand Prairie, Texas, being informed as to the location and nature of the specific use proposed on said property, as well as the nature and usability of

surrounding property, have found and determined that the property in question, as well as other property within the city limits of the City of Grand Prairie, Texas, has changed in character since the enactment of the original Zoning Ordinance to the extent that a specific use may be made of said property as herein provided and by reason of changed conditions, does consider and find that this amendatory Ordinance should be enacted since its provisions are in the public interest and will promote the health, safety and welfare of the community.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS THAT:**

**SECTION 1.** Ordinance Number 4779, being the Unified Development Code of the City of Grand Prairie, Texas, showing the locations and boundaries of certain districts, and said Zoning Ordinance and Map having been made a part of an Ordinance entitled:

"THE UNIFIED DEVELOPMENT CODE OF THE CITY OF GRAND PRAIRIE, TEXAS, AS PASSED AND APPROVED BY THE CITY COUNCIL ON THE 20TH DAY OF NOVEMBER, 1990, TOGETHER WITH ALL AMENDMENTS THERETO AND ENACTING A REVISED ORDINANCE ESTABLISHING AND PROVIDING FOR ZONING REGULATIONS; CREATING USE DISTRICTS IN ACCORDANCE WITH A COMPREHENSIVE PLAN..."

passed and approved November 20, 1990, as amended, is hereby further amended so as to establish a Specific Use Permit for a Multi-Tenant Development with a Drive-Through Bank on Lot 1R, Block A, Grand Central Crossing Addition, City of Grand Prairie, Dallas County, Texas, as depicted in Exhibit A – Location Map, attached hereto.

**SECTION 2.** The purpose of this Ordinance is to provide the appropriate restrictions and development controls that ensure this Specific Use Permit is compatible with the surrounding development and zoning and to also ensure that the development complies with the City's Comprehensive Plan and Unified Development Code.

**SECTION 3.** For development and operations of a Multi-Tenant Development with a Drive-Through Bank, the following standards and conditions are hereby established as part of this ordinance:

1. The development shall adhere to the City Council approved Exhibit B - Site Plan, Exhibit C - Landscape Plan, Exhibit D - Building Elevations, Exhibit E – Colored Elevations and Exhibit F - Appendix F Checklist of this ordinance, which are herein incorporated by reference.
2. The developer shall submit an amending plat for the abandonment and/or relocation of the internal access easement. This plat shall be recorded before the issuance of a building permit.
3. The City Council has granted the following variance from Appendix F standards:
  - A. Parking area location: The City Council grants a variance to allow the western parking area to be 25 feet from the right-of-way line.

**SECTION 4.** The operations of a Multi-Tenant Development with a Drive-Through Bank shall comply with the following:

1. By this Ordinance, this Specific Use Permit shall automatically terminate in accordance with Section 5.4.1 of the Unified Development Code if a Certificate of Occupancy is not issued for said use within one (1) year after City Council adoption of this Ordinance, or upon cessation of said use for a period of six (6) months or more.
2. It shall be unlawful for the owner, manager, or any person in charge of a business or other establishment to violate the conditions imposed by the City Council when a Specific Use Permit is granted, and the violation of those conditions could result in a citation being issued by the appropriate enforcement officers of the City of Grand Prairie. Violation of this provision may be punishable in accordance with Section 1-8 of the Code of Ordinances of the City.
3. This Specific Use Permit shall run with the land and therefore may be transferred from owner to owner; however, each new owner shall obtain a new Certificate of Occupancy.
4. The Certificate of Occupancy shall note the existence of this Specific Use Permit by its number and title.
5. The operation of the facility shall be in strict compliance with all requirements of the Environmental Services Department, Building Inspections, Police Department and Fire Administration.
6. Any unsafe or unauthorized operations or activities may be determined as grounds for revocation of the Specific Use Permit by the City Council.

**SECTION 5.** It is further provided that in the case a section, clause, sentence or part of this Ordinance shall be deemed or adjudicated by a court of competent jurisdiction to be invalid, then such invalidity shall not affect, impair or invalidate the remainder of this Ordinance.

**SECTION 6.** A violation of this Ordinance is a misdemeanor punishable in accordance with Section 1-8 of the Code of Ordinances of the City of Grand Prairie, Texas. The penalty provided herein shall be cumulative of other remedies provided by State law, and the power of injunction as provided in Texas Local Government Code Section 54.016, as amended, may be exercised in enforcing this ordinance whether or not there has been a complaint filed.

**SECTION 7.** That the Unified Development Code of the City of Grand Prairie, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

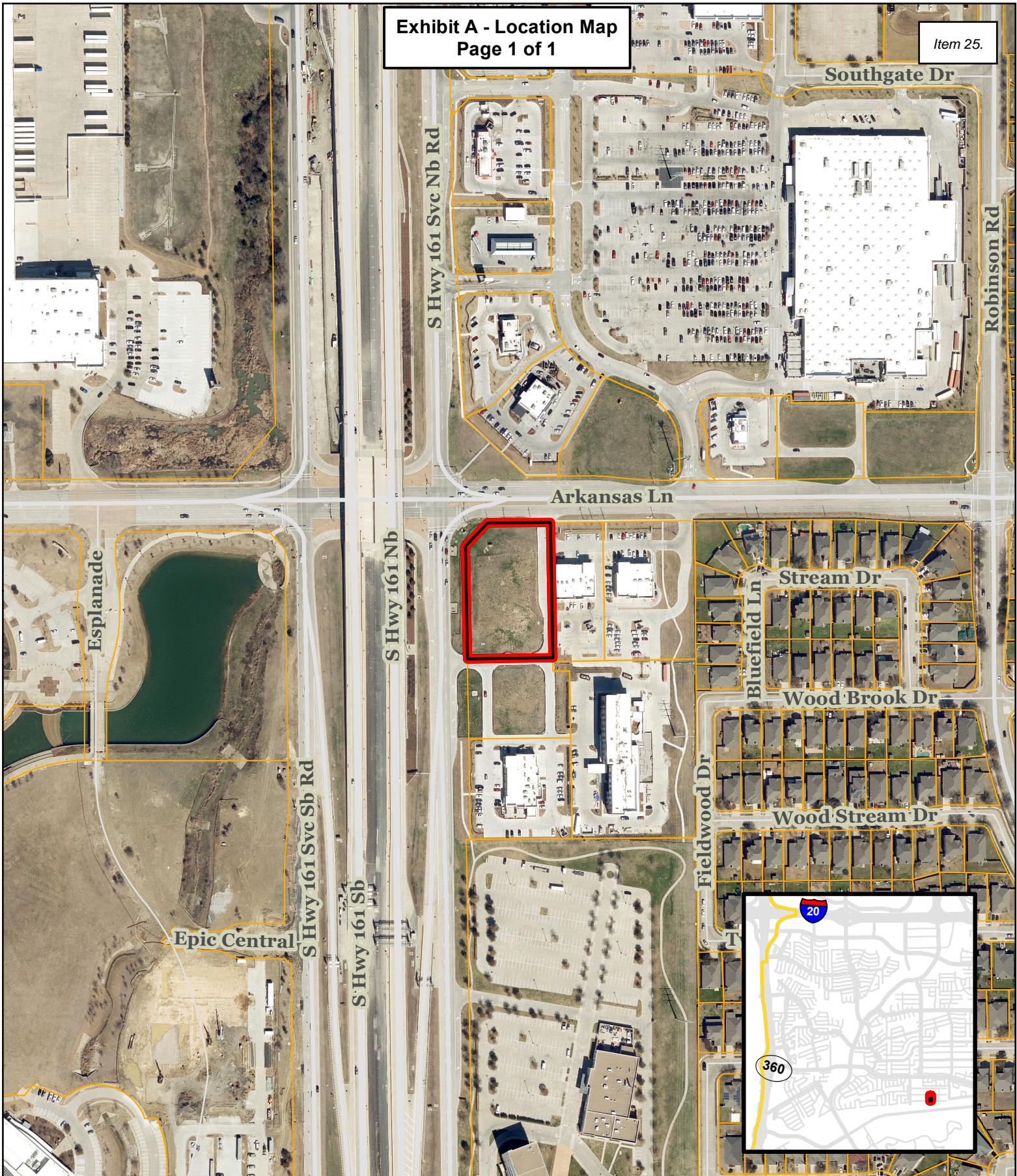
**SECTION 8.** The terms and provisions of this Ordinance are severable and are governed by Section 1-4 of the Code of Ordinances of the City of Grand Prairie, Texas.

**SECTION 9.** All ordinances or parts of ordinances in conflict herewith are specifically repealed.

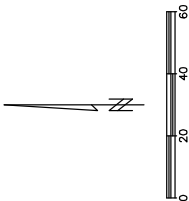
**SECTION 10.** This ordinance shall be in full force and effect from and after its passage, approval, and publication.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, ON THIS THE 7<sup>TH</sup> DAY OF JUNE 2022.**

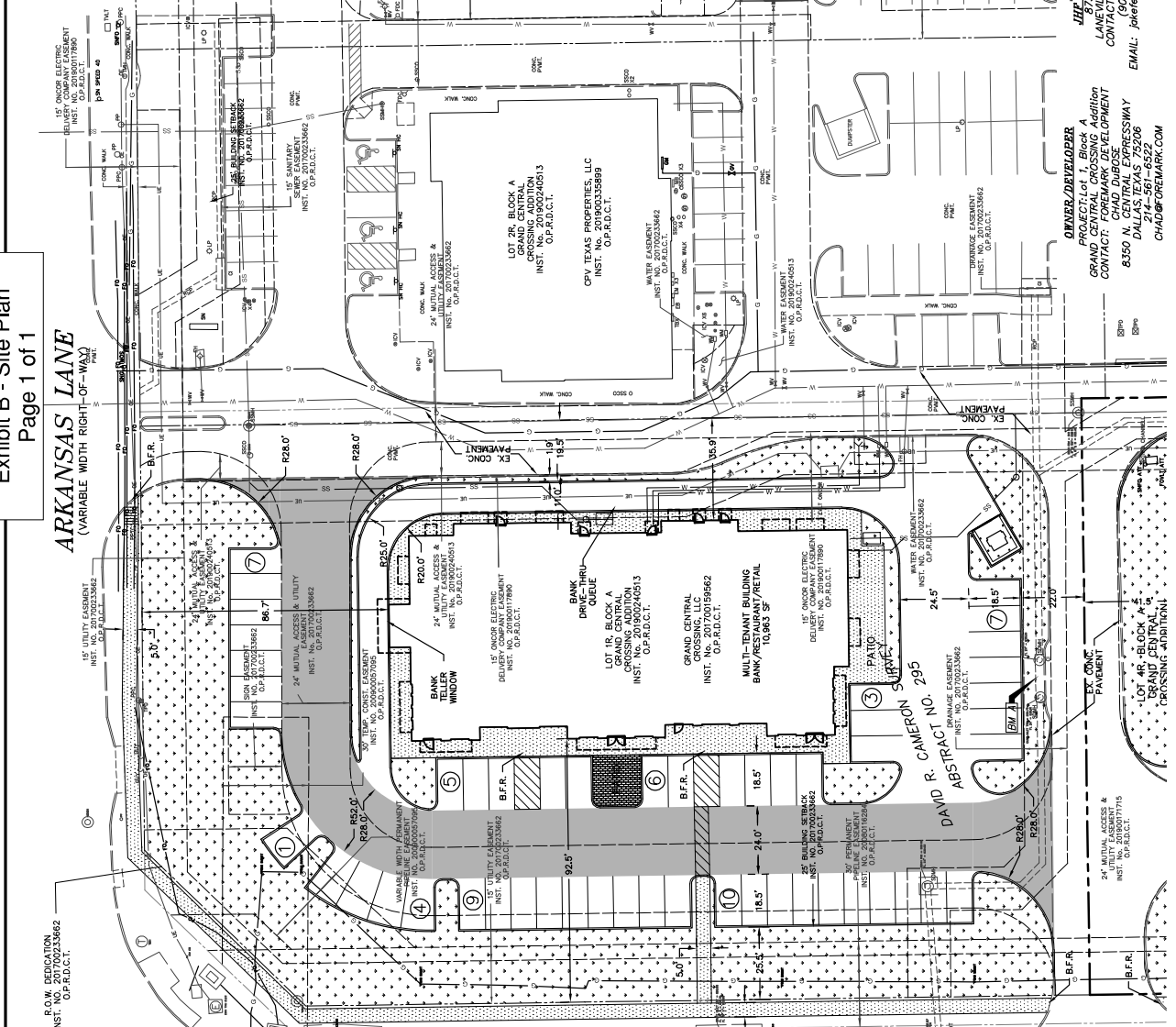
**ORDINANCE NO. #-2023**  
**SPECIFIC USE PERMIT NO. #**  
**CASE NO. SUP-22-03-0016**



**PRESIDENT GEORGE BUSH TURNPIKE**  
 (STATE HIGHWAY 161)  
 (VARIABLE WIDTH RIGHT-OF-WAY)  
 VOL. 2001002, PG. 3397  
 D.R.D.C.T.



**Exhibit B - Site Plan**  
 Page 1 of 1



**SITE DATA CHART**

EXISTING ZONING	PD-11
PROPOSED ZONING	PD-11 BASE OR
EXISTING USE	VACANT
PROPOSED USES	RETAIL/RESTAURANT/BANKING (DRIVE THRU)
LOT AREA	1,518 AC
BUILDING AREA TOTAL	10,963 SF (DINING/PATIO)
RETAIL	2,000 SF
RESTAURANT	4,863 SF
BUILDING SETBACKS	
FRONT:	
REAR:	
PARKING REOD (SEE SHARED PARKING ANALYSIS)	
OPEN SPACE AREA	25' MAX.
BUILDING HEIGHT	0.17 FAR
FLOOR AREA RATIO	

**BENCHMARKS**

**BMA** - AN "X" CUT IN THE CENTER OF A CURB INLET ON THE NORTH SIDE OF THE NORTHBOUND SERVICE ROAD OF HWY 161 AND 370 FEET SOUTH OF ARKANSAS LANE. ELEVATION = 538.76 FT.

**BIBL** - AN "X" CUT IN THE CENTER OF A ROAD OF HWY 161, 475 FEET SOUTH OF ARKANSAS LANE. ELEVATION = 539.44 FT.

EXISTING UTILITIES ARE INDICATED ON THE PLANS FROM AVAILABLE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES, TO PROTECT ALL UTILITIES FROM DAMAGE, AND TO REPAIR ALL UTILITIES DAMAGED DUE TO THE CONTRACTOR'S OPERATIONS, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES.

**LEGEND**

PROPOSED LANDSCAPE /SEEDING AREAS	PROPOSED CONCRETE SIDEWALK
LIGHT DUTY CONCRETE PAVEMENT	MEDIUM DUTY CONCRETE DRIVEWAY
HEAVY DUTY CONCRETE PAVEMENT	UNIT COUNT
EXPANSION JOINTS	E.O.P. OF PAVEMENT
EDGE OF PAVEMENT	BARRIER FREE RAMP

- GENERAL NOTES:**
- ALL COORDINATES ARE TO THE BACK OF CURB, UNLESS NOTED OTHERWISE.
  - DIMENSIONS SHOWN ARE TO THE BACK OF CURB, UNLESS NOTED OTHERWISE. 2.5" B/C WITHIN PARKING LOT.
  - ALL PROPOSED CURB RADIUS ARE UNLESS NOTED OTHERWISE.
  - SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
  - ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

**JHF ENGINEERING, PLLC**  
 8728 FM 225 S LVENTE, TEXAS 75667 PHONE: (903)646-8340

NO.	DATE	DESCRIPTION	BY

**2810 S. HWY. 161**  
**GRAND CENTRAL CROSSING ADDITION**  
**LOT 1, BLOCK A**  
**GRAND CENTRAL CROSSING ADDITION**  
**2810 S. HWY. 161**  
**GRAND CENTRAL CROSSING ADDITION**

**SITE PLAN**

**PRELIMINARY PLANS**  
 NOT FOR CONSTRUCTION  
 NOT FOR PERMITTING  
 BIDDING OR PERMIT PURPOSES.  
 Project Supervision of Direct Supervision of JHF ENGINEERING, PLLC  
 Jacob H. Feare, PE  
 License No. 98376  
 On Date Shown Below  
**DATE: 5/2/2022**  
**SCALE: AS SHOWN**  
**SHEET NO. S101**

Item 25.

**ENGINEER**  
**JHF ENGINEERING**  
 8728 FM 225 S  
 LVENTE, TEXAS 75667  
 CONTACT: JAKE FEARE, P.E.  
 8350 N. CENTRAL EXPRESSWAY  
 DALLAS, TEXAS 75208  
 214-561-6522  
 CHAD@JHFENGINEERING.COM  
 EMAIL: jake@jehs@jhfengineering.com  
 SUP-22-03-0016

**OWNER/DEVELOPER**  
**PROCELLUM BLOCK A**  
**GRAND CENTRAL CROSSING ADDITION**  
**CONTACT: FOREMARK DEVELOPMENT**  
 8350 N. CENTRAL EXPRESSWAY  
 DALLAS, TEXAS 75208  
 214-561-6522  
 CHAD@JHFENGINEERING.COM

Exhibit C - Landscape Plan  
Page 1 of 1

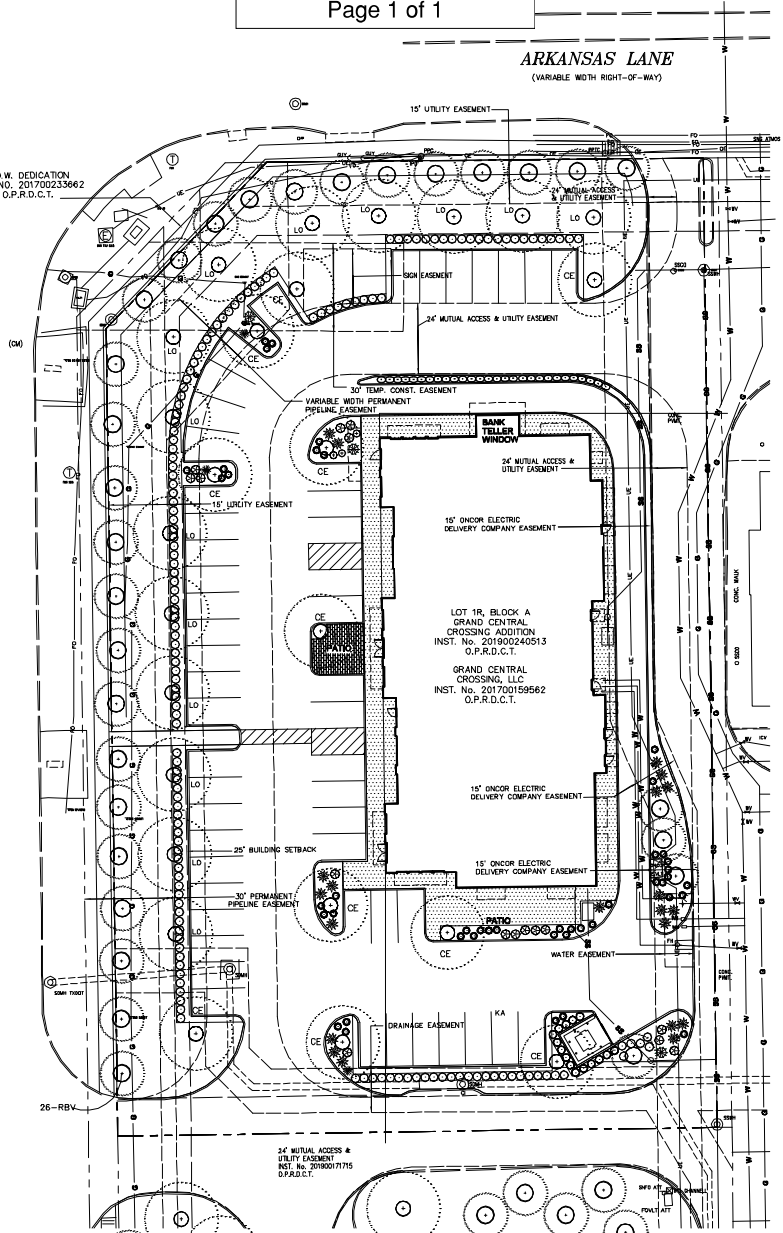
LANDSCAPE NOTES:

01. ALL LANDSCAPE REQUIREMENTS AND UNDERGROUND IRRIGATION SYSTEM WILL CONFORM TO THE LOCAL CITY ORDINANCE AND DESIGN STANDARDS AND ANY REQUIREMENTS OF THE STATE, IF APPLICABLE.
02. NO PLANT MATERIAL SHALL BE PLANTED UNTIL THE LANDSCAPE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREAS.
03. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, CABLES, STRUCTURES AND LINE RUNS.
04. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES BASED ON THE DRAWINGS AND ACTUAL FIELD QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY TO THE OWNER(S) AND SHALL NOT BE CONSIDERED ABSOLUTE. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
05. NOTIFY THE OWNER OF ANY DISCREPANCIES THAT ARISE DURING THE CONSTRUCTION PERIOD. FAILURE TO MAKE SUCH DISCREPANCIES KNOWN TO OWNER WILL RESULT IN THE CONTRACTOR'S LIABILITY TO REDO WORK AS NECESSARY TO ACHIEVE THE DESIGN INTENT.
06. PROTECT EXISTING VEGETATION, EQUIPMENT, STRUCTURES, UTILITIES, AND OTHER IMPROVEMENTS AT THE PROJECT SITE AND ON ADJACENT PROPERTIES, EXCEPT THOSE INDICATED TO BE REMOVED OR ALTERED. ALL AREAS DISTURBED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AND RESTORED TO THEIR PRE-CONSTRUCTION CONDITION INCLUDING: PAVEMENTS, LANDSCAPE AREAS, IRRIGATION AND LIGHTING.
07. PROVIDE MEASURES AS REQUIRED TO PREVENT EROSION AND DISCHARGE OF SOIL-BEARING RUNOFF AND AIRBORNE DUST TO UNDISTURBED AREAS AND ADJACENT PROPERTIES, SIDEWALKS, STREETS, AND OTHER PAVED SURFACES.
08. ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
09. NOTIFY THE LANDSCAPE ARCHITECT IF LAYOUT OF TREES, BEDS AND/OR PLANTS REQUIRE ALTERATION FROM THE LANDSCAPE PLAN. NOTIFICATION WILL BE REQUIRED PRIOR TO ALTERING THE LAYOUT.
10. TREES SHALL BE HANDLED BY ROOT BALLS ONLY. DO NOT DAMAGE BALL, TRUNK, OR LOOSEN TRUNK FROM BALL. TREE TRUNKS ARE TO BE PLANTED STRAIGHT AND MAY BE REQUIRED BY THE OWNER AND/OR THE LANDSCAPE ARCHITECT TO BE STAKED.
11. WHERE NEWLY PLANTED TREES ARE NOT ABLE TO STAND ON THEIR OWN, TREES SHALL BE STAKED WITH AN XT-GRADE ROOT BALL SECURING SYSTEM. THE SYSTEM SHALL SECURELY ANCHOR THE ROOT BALL, WHILE ALLOWING THE TRUNK AND CROWN TO MOVE NATURALLY. THE SYSTEM SHALL NOT USE MATERIALS AND METHODS THAT PENETRATE OR DAMAGE THE ROOT BALL. ABOVE GRADE STAKING SYSTEMS SUCH AS "T" POSTS WITH WIRES, HOSES, STRAPS, OR GUY WIRES INSTALLED AROUND THE TREE TRUNK SHALL NOT BE ALLOWED UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
12. ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS AND MATCHING CHARACTER AND BRANCHING STRUCTURE.
13. ALL TREE LOCATIONS SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
14. FINAL LOCATIONS OF PLANT MATERIAL IS SUBJECT FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
15. PROVIDE POSITIVE DRAINAGE THROUGHOUT THE PROJECT AREA, NO PONING OR STANDING WATER IS ACCEPTABLE.
16. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL BUILDINGS.
17. AT NO TIME WILL ANY PLANT MATERIAL BE ALLOWED TO BE PLANTED BELOW THE TOP OF THE ROOT FLARE OR POTTED SOIL LINE. SHOULD PLANT MATERIAL SETTLE, THE PLANT(S) WILL BE REPLACED AT THE PROPER HEIGHT AND/OR REPLACED IF NECESSARY AT THE CONTRACTOR'S COST.
18. ALL PROPOSED BED AREAS SHALL BE TILLED TO A DEPTH OF SIX INCHES (6"), ADDING A THREE INCH (3") MINIMUM LAYER OF ORGANIC COMPOST DURING THE PROCESS. THE LEVEL OF THE BED AREAS SHOULD BE LEFT THREE INCHES (3") ABOVE THE PROPOSED FINISHED GRADE TO ALLOW FOR COMPACTION AND SETTLEMENT.
19. ALL BED AREAS SHALL BE SEPARATED FROM TURF AREAS USING 1/4" X 4" STEEL EDGING, PAINTED GREEN. ALL ENDS OF STEEL EDGE RUNS SHALL HAVE A RADIUS OR 45 DEGREE ANGLE TO ELIMINATE SHARP EDGES. HAND FINISH MAY BE REQUIRED TO ACHIEVE A SMOOTH EDGE.
20. TRIM STEEL EDGING AT A 45 DEGREE ANGLE WHEN EDGING INTERSECTS WITH A WALK OR CURVE. DO NOT INSTALL EDGING ALONG CURVES OR WALKS.
21. ALL LANDSCAPE BEDS SHALL RECEIVE A TWO INCH (2") TOP DRESS LAYER OF HARDWOOD MULCH AND ALL TREE WELLS SHALL RECEIVE A THREE INCH (3") LAYER OF SHREDED HARDWOOD MULCH. DO NOT COVER ROOT FLARE.
22. TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURVES.
23. TURF AREAS SHALL BE CLEAN OF DEBRIS AND RAKED (GRADED) SMOOTH PRIOR TO HYDROLAMM OR SOD INSTALLATION. LANDSCAPE CONTRACTOR TO RECEIVE GRADE WITHIN APPROX. 1 FOOT OF FINAL GRADE.
24. OWNER RESPONSIBLE TO PROVIDE ELECTRICAL SERVICE FOR THE IRRIGATION SYSTEM, WHICH INCLUDES A HARDWARE OF 110 VOLTS A MINIMUM FOR THE CONTROLLER.
25. ALL LANDSCAPING LOCATED WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS FOR THE CITY STANDARDS.
26. ALL LIGHT POLES MAY NOT BE SHOWN ON THE PROJECT SITE OR ADJACENT PROPERTIES. IF A PROPOSED TREE IS IN CONFLICT WITH ANY LIGHT OR UTILITY POLE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT, TO DETERMINE OPTIONS, PRIOR TO PLANTING.
27. ALL PLANTS AND TREES ARE TO CONFORM TO AMERICAN ASSOCIATION OF NURSERMEN AND TEXAS ASSOCIATION OF NURSERMEN STANDARDS.
28. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY LANDSCAPE MATERIAL ON SITE.
29. THE IRRIGATION SYSTEM WILL BE DESIGN BUILD AS PER OWNER REQUEST.

MAINTENANCE NOTE:

THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, MOWING OF TURF GRASS SIX (6") INCHES OR HIGHER, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF ALL TRASH, LITTER, WEEDS, AND OTHER SUCH MATERIALS OR PLANTS THAT ARE NOT A PART OF THE LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE, WITHIN NINETY (90) DAYS. TREES WITH A TRUNK DIAMETER IN EXCESS OF SIX (6") INCHES MEASURED TWENTY-FOUR (24) INCHES ABOVE THE GROUND MAY BE REPLACED WITH ONES THAT HAVE BEEN PRE-APPROVED OF SIMILAR VARIETY, HAVING A TRUNK DIAMETER OF NO LESS THAN THREE (3) INCHES MEASURED TWENTY-FOUR (24) INCHES ABOVE THE GROUND. A TIME EXTENSION MAY BE GRANTED BY CITY STAFF IF SUBSTANTIAL EVIDENCE IS PRESENTED TO INDICATE ABNORMAL CIRCUMSTANCES BEYOND THE CONTROL OF THE OWNER OR HIS AGENT.

PRESIDENT GEORGE BUSH TURNPIKE  
(STATE HIGHWAY 161)  
(VARIABLE WIDTH RIGHT-OF-WAY)  
(O.D.P.R.D.C.T.)



PLANT SCHEDULE

SYMBOL	TABLE	QUANTITY	COMMON NAME - SCIENTIFIC NAME - SIZE
<b>TREES</b>			
CE	8	CEDAR ELM Ulmus crassifolia 3" cal., 10' tall b&b	
LO	14	LIVE OAK Quercus shumardii 3" cal., 10' tall b&b	
ERC	13	EASTERN RED CEDAR Juniperus virginiana 3" cal., 8' tall b&b	
RBV	26	RUSTY BLACKHAW NEURUM Viburnum rufidulum 1" cal., 8' tall b&b	
<b>SHRUBS</b>			
CTS	-	COMPACT TEXAS SAGE Leucophyllum frutescens 'Compacta' 5 gallon, full, 36" on center	
NRSH	-	NELLIE R. STEVENS HOLLY Ilex spp. 'Nellie R. Stevens' 5 gallon, full, 36" on center	
RY	-	RED YUCCA Yucca rostrata 5 gallon, full, 48" on center	
DBH	-	DWARF BUFORD HOLLY Ilex cornuta 'Buford holly' 5 gallon, full, 30" on center	
KA	-	KALEIDOSCOPE ARBIA Abelia spp. 'Kaleidoscope' 5 gallon, full, 30" on center	
SPH	-	SCARLET PEAK HOLLY Ilex verticillata 'Scarlet Peak' 7 gallon, 4" tall, full, 36" on center	
<b>GROUNDCOVER &amp; PERENNIALS</b>			
AS	-	AUTUMN SAGE - RED Salvia greggii 1 gallon, full, 24" on center	
LAN	-	LANTANA Lantana spp. 1 gallon, full, 24" on center	
TC	-	TURK'S CAP Malvastrum drummondii 1 gallon, full, 36" on center	
COR	-	COREOPSIS Coreopsis 1 gallon, full, 24" on center	
PW	-	PURPLE WATERCREEPER Eustoma tortifolium 'Coloratus' 1 gallon, full, 18" on center	
<b>TURF GRASS</b>			
BO	-	BERMUDA GRASS Cynodon dactylon sod roll -	

ADDITIONAL MATERIALS

- DECOMPOSED GRANITE - 10'  
4" thick over weed barrier fabric.

LANDSCAPE AND TREE REQUIREMENTS

STANDARD	REQUIRED	PROVIDED	MEETS
LANDSCAPE AREA 10%	6,613 SF	13,690 SF	YES
FRONT YARD 75% OF REDD L/S IN FRONT 10'	4,960 SF	11,203 SF	YES
STREET TREES 1/800 SF of L/S AREA	14	14	YES
PARKING TREES: (1 PER 5 SP) 52 SP	11	11	YES
PEDESTRIAN WALKWAY TREES (1 PER 207) 507	26	26	YES
TOTAL STREET, PARKING & PEDESTRIAN WALKWAY TREES	46	46	YES
SHRUBS 1/50 SF of REDD L/S AREA	102	102	YES
SHRUBS 6,613/50 SF = 113-5 GAL. 113 x 5 = 565 - 1 GAL. 15% = 84-1 GAL. - COLOR 507/5 = 102-5 GAL. SHRUBS			
FLOWERS/COLORFUL PLANTS 15% OF REDD SHRUBS 1 GAL.	85	85	YES

FOR REVIEW ONLY  
THESE DOCUMENTS ARE FOR INFORMATION ONLY AND ARE NOT INTENDED FOR CONSTRUCTION. PREPARED, REVIEWED, OR APPROVED BY:  
DONIC WHEELER - TEXAS LANDSCAPE ARCHITECT # 978

Don C. Wheeler  
Landscape Architect  
1000 West Street, Suite 1107  
Dallas, Texas 75201  
P.O. Box 47866  
Dallas, Texas 75248  
Phone: 972.333.4508  
Cell: 972.333.4508

LOT 1R, BLOCK A  
GRAND CENTRAL  
CROSSING ADDITION  
GRAND PRAIRIE,  
DALLAS COUNTY, TEXAS

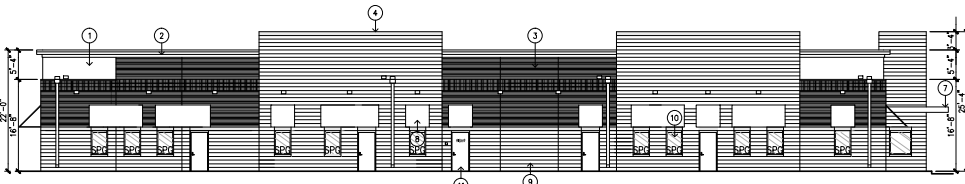
LANDSCAPE PLAN

NO.	REVISION	DATE	DATE

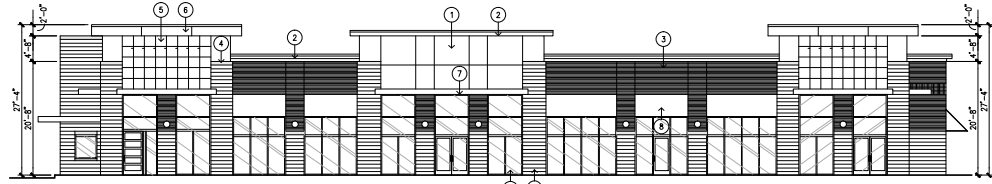
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DATE:  
03.29.2022  
SHEET NO:  
L1  
OF - L SHEETS



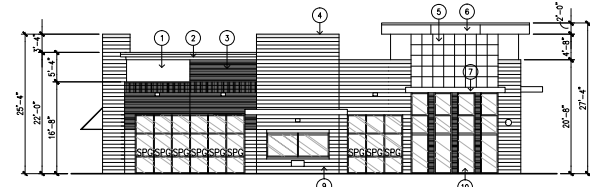
Exhibit D - Building Elevations  
Page 1 of 1



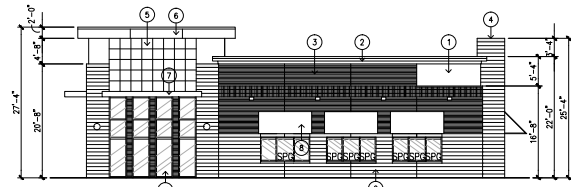
EAST ELEVATION



WEST ELEVATION  
STREET FACING FACADE



NORTH ELEVATION  
STREET FACING FACADE



SOUTH ELEVATION

MATERIAL LEGEND:

- ① STUCCO VENEER
- ② INTEGRATED 18" PROJECTING STUCCO CORNICE
- ③ BRICK VENEER
- ④ CAST STONE COPING, ACCENT BAND, WINDOW HEADS AND SILLS
- ⑤ CUT LIMESTONE VENEER
- ⑥ PAINTED METAL TOWER FASCIA
- ⑦ PAINTED METAL CANOPY
- ⑧ FABRIC AWNING
- ⑨ STONE VENEER
- ⑩ ALUMINUM STOREFRONT AND ENTRANCES WITH CLEAR INSULATING GLASS (SPG=SPANDREL GLASS)
- ⑪ PAINTED HOLLOW METAL DOORS AND FRAMES

NOTE: BUILDING MATERIALS MATCH MATERIALS UTILIZED ON ADJACENT BUILDINGS IN THE DEVELOPMENT

EXTERIOR BUILDING MATERIAL REQUIREMENTS

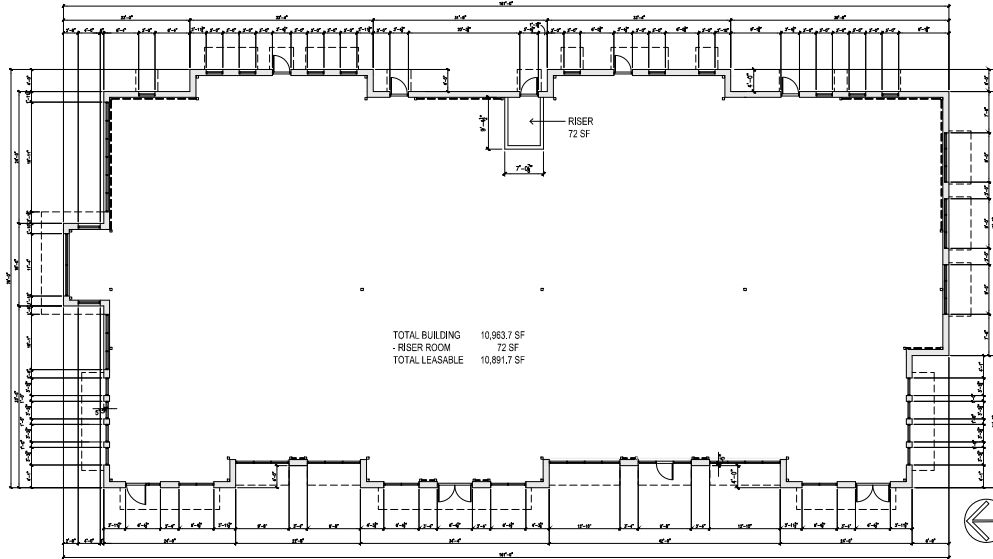
EAST FACADE	WEST FACADE	NORTH FACADE	SOUTH FACADE
3,556.3 SF = 100% (EXCLUDING DOORS AND WINDOWS)	2,745.1 SF = 100% (EXCLUDING DOORS AND WINDOWS)	1,299.9 SF = 100% (EXCLUDING DOORS AND WINDOWS)	1,522.9 SF = 100% (EXCLUDING DOORS AND WINDOWS)
STONE 2,166.1 SF = 63.2%	STONE 1,228.9 SF = 44.9%	STONE 850.8 SF = 64.4%	STONE 892.1 SF = 44.3%
BRICK 973.8 SF = 27.4%	BRICK 832.2 SF = 30.4%	BRICK 243.1 SF = 17.9%	BRICK 851.1 SF = 38.3%
STUCCO 201.7 SF = 6.1%	STUCCO 449.2 SF = 16.6%	STUCCO 149.7 SF = 11.5%	STUCCO 182.2 SF = 10.9%
METAL 46.7 SF = 1.3% < 10% MAXIMUM ALLOWED	METAL 227.5 SF = 8.3% < 10% MAXIMUM ALLOWED	METAL 113.0 SF = 8.5% < 10% MAXIMUM ALLOWED	METAL 98.4 SF = 6.5% < 10% MAXIMUM ALLOWED
100%	100%	100%	100%
	GLASS 1,254.92 SF = 31.5%	GLASS 557.0 SF = 30.0%	

ARTICULATION REQUIREMENTS

- GENERAL**
- FLAT WALL HEIGHT = 22'-0" X 3 = 66'-0" > 60'-0" MAXIMUM FLAT WALL LENGTH ALLOWED
  - 22'-0" WALL HEIGHT X 15% = 3'-4" MINIMUM HORIZONTAL BUILDING OFFSET REQUIRED < 4'-0" PROVIDED
  - ALL HORIZONTAL OFFSETS > 15'-0" MINIMUM LENGTH REQUIRED
  - 22'-0" WALL HEIGHT X 15% = 3'-4" MINIMUM VERTICAL BUILDING OFFSET REQUIRED > 3'-4" PROVIDED
- HORIZONTAL**
- EAST FACADE**
- 33'-4" LONG OFFSET = 84% OF ADJACENT WALL / 84% > 25% REQUIRED
  - 33'-4" LONG OFFSET = 105% OF ADJACENT WALL / 105% > 25% REQUIRED
- WEST FACADE**
- 24'-0" LONG OFFSET = 100% OF ADJACENT WALL / 100% > 25% REQUIRED
  - 34'-4" LONG OFFSET = 82% OF ADJACENT WALL / 82% > 25% REQUIRED
- NORTH FACADE**
- 15'-0" LONG OFFSET = 43% OF ADJACENT WALL / 43% > 25% REQUIRED
- SOUTH FACADE**
- 48'-0" LONG OFFSET = 200% OF ADJACENT WALL / 200% > 25% REQUIRED
- VERTICAL**
- EAST FACADE**
- 33'-4" WALL LENGTH = 84% OF ADJACENT WALL / 84% > 25% REQUIRED
  - 33'-4" WALL LENGTH = 105% OF ADJACENT WALL / 105% > 25% REQUIRED
- WEST FACADE**
- 24'-0" WALL LENGTH = 100% OF ADJACENT WALL / 100% > 25% REQUIRED
  - 34'-4" WALL LENGTH = 82% OF ADJACENT WALL / 82% > 25% REQUIRED
- NORTH FACADE**
- 15'-0" WALL LENGTH = 43% OF ADJACENT WALL / 43% > 25% REQUIRED
- SOUTH FACADE**
- 48'-0" WALL LENGTH = 200% OF ADJACENT WALL / 200% > 25% REQUIRED

DESIGN ELEMENTS

- DISTINCT BASE, FIELD WALL, AND PARAPET WITH CORNICE
- TWO DIFFERENT TYPES OF STONE UTILIZED
- CAST STONE ACCENT BAND TO DEFINE BASE
- SOLDIER COURSE ACCENT IN BRICK FIELD WALL
- THREE VARIATIONS IN ROOF PROFILE
- EARTH TONE COLOR PALETTE UTILIED



FLOOR PLAN

0' 5' 10' 25'

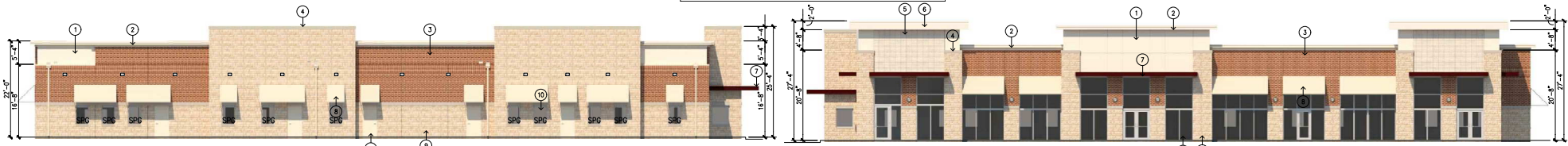
ARCHITECTURAL FEATURES

- CANOPIES / AWNINGS** (REQUIRED ALONG 25% OF FACADE)
- EAST FACADE 58.4 LF = 85% > REQUIRED 25%
  - WEST FACADE 137.5 LF = 85% > REQUIRED 25%
  - NORTH FACADE 36.0 LF = 47.3% > REQUIRED 25%
  - SOUTH FACADE 46.9 LF = 61.6% > REQUIRED 25%
- WINDOWS**
- EAST FACADE 41.1 LF
  - WEST FACADE 102.9 LF
  - NORTH FACADE 54.0 LF
  - SOUTH FACADE 39.8 LF
  - 237.8 LF = 50.1% OF THE TOTAL BUILDING LENGTH OF 474 LF
- ARTICULATED PUBLIC ENTRANCES**
- 28'-4" TO 27'-4" HEIGHT PROVIDED
  - 2.3 ENTRANCES PROVIDED PER 120 LF OF FACADE
  - CANOPES OR AWNINGS PROVIDED FOR WEATHER PROTECTION ABOVE ENTRANCES
- SCREENING**
- 3'-4" MINIMUM PARAPET HEIGHT

Prepared by: Donald F. Sopranzi, AIA  
10300 North Central Expressway, suit 450  
Dallas, Texas 75231 817-903-6663  
License No: 8069 dons@dfsarchitect.com

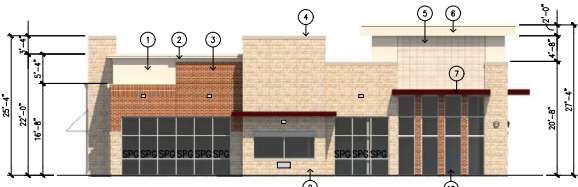
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PERMITTING OR  
CONSTRUCTION

Exhibit E - Colored Elevations  
Page 1 of 1

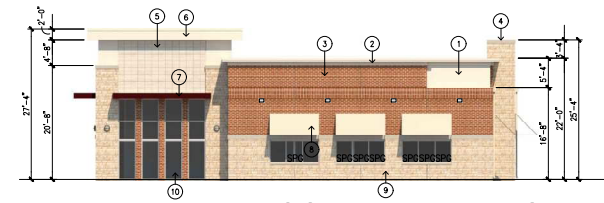


EAST ELEVATION

WEST ELEVATION  
STREET FACING FACADE



NORTH ELEVATION  
STREET FACING FACADE



SOUTH ELEVATION

**MATERIAL LEGEND:** NOTE: BUILDING MATERIALS MATCH MATERIALS UTILIZED ON ADJACENT BUILDINGS IN THE DEVELOPMENT

- ① STUCCO VENEER
- ② INTEGRATED 18" PROJECTING STUCCO CORNICE
- ③ BRICK VENEER
- ④ CAST STONE COPING, ACCENT BAND, WINDOW HEADS AND SILLS
- ⑤ CUT LIMESTONE VENEER
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- ⑦ PAINTED METAL CANOPY
- ⑧ FABRIC AWNING
- ⑨ STONE VENEER
- ⑩ ALUMINUM STOREFRONT AND ENTRANCES WITH CLEAR INSULATING GLASS (SPG=SPANDREL GLASS)
- ⑪ PAINTED HOLLOW METAL DOORS AND FRAMES

**EXTERIOR BUILDING MATERIAL REQUIREMENTS**

EAST FACADE	WEST FACADE	NORTH FACADE	SOUTH FACADE
3,356.8 SF = 100% (EXCLUDING DOORS AND WINDOWS)	2,748.1 SF = 100% (EXCLUDING DOORS AND WINDOWS)	1,296.9 SF = 100% (EXCLUDING DOORS AND WINDOWS)	1,522.9 SF = 100% (EXCLUDING DOORS AND WINDOWS)
STONE 2,166.1 SF = 63.2%	STONE 1,228.9 SF = 44.9%	STONE 850.6 SF = 64.4%	STONE 692.1 SF = 44.3%
BRICK 973.3 SF = 27.4%	BRICK 832.2 SF = 30.4%	BRICK 243.1 SF = 17.6%	BRICK 601.1 SF = 38.3%
STUCCO 201.7 SF = 6.1%	STUCCO 449.2 SF = 16.6%	STUCCO 149.7 SF = 11.5%	STUCCO 182.2 SF = 10.9%
METAL 46.7 SF = 1.3% < 10% MAXIMUM ALLOWED	METAL 227.5 SF = 8.3% < 10% MAXIMUM ALLOWED	METAL 113.0 SF = 8.5% < 10% MAXIMUM ALLOWED	METAL 86.4 SF = 6.5% < 10% MAXIMUM ALLOWED
100%	100%	100%	100%
	GLASS 1,254.92 SF = 31.5%	GLASS 557.0 SF = 30.0%	

**ARTICULATION REQUIREMENTS**

**GENERAL**  
 FLAT WALL HEIGHT = 22'-0" X 3 = 66'-0" > 66'-0" MAXIMUM FLAT WALL LENGTH ALLOWED  
 22'-0" WALL HEIGHT X 15% = 3'-4" MINIMUM HORIZONTAL BUILDING OFFSET REQUIRED < 4'-0" PROVIDED  
 ALL HORIZONTAL OFFSETS > 16'-0" MINIMUM LENGTH REQUIRED  
 22'-0" WALL HEIGHT X 15% = 3'-4" MINIMUM VERTICAL BUILDING OFFSET REQUIRED < 3'-4" PROVIDED

**HORIZONTAL**  
**EAST FACADE**  
 33'-4" LONG OFFSET = 84% OF ADJACENT WALL / 84% > 25% REQUIRED  
 33'-4" LONG OFFSET = 105% OF ADJACENT WALL / 105% > 25% REQUIRED

**WEST FACADE**  
 24'-0" LONG OFFSET = 108% OF ADJACENT WALL / 108% > 25% REQUIRED  
 34'-4" LONG OFFSET = 82% OF ADJACENT WALL / 82% > 25% REQUIRED

**NORTH FACADE**  
 15'-0" LONG OFFSET = 43% OF ADJACENT WALL / 43% > 25% REQUIRED

**SOUTH FACADE**  
 46'-0" LONG OFFSET = 200% OF ADJACENT WALL / 200% > 25% REQUIRED

**VERTICAL**  
**EAST FACADE**  
 33'-4" WALL LENGTH = 84% OF ADJACENT WALL / 84% > 25% REQUIRED  
 33'-4" WALL LENGTH = 105% OF ADJACENT WALL / 105% > 25% REQUIRED

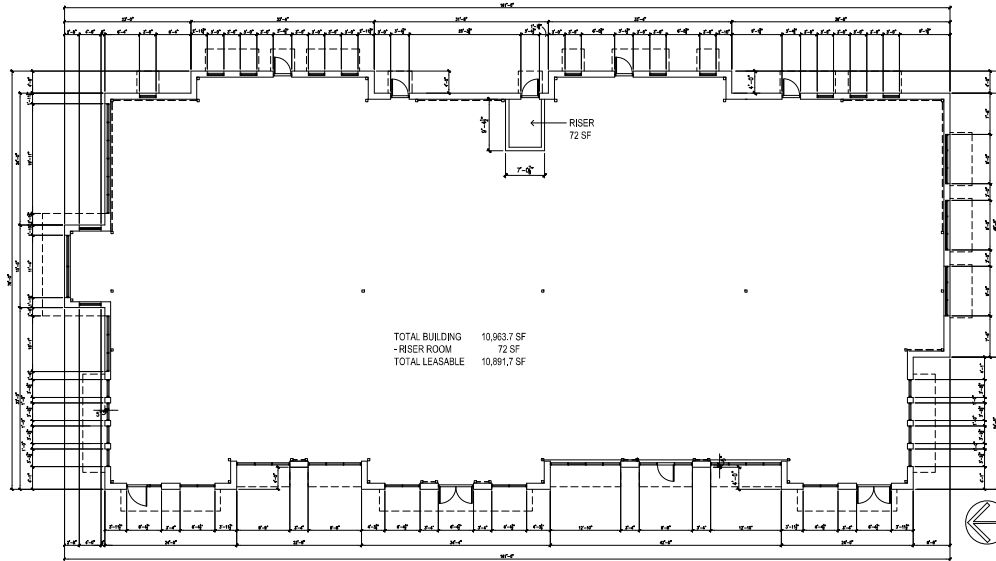
**WEST FACADE**  
 24'-0" WALL LENGTH = 108% OF ADJACENT WALL / 108% > 25% REQUIRED  
 34'-4" WALL LENGTH = 82% OF ADJACENT WALL / 82% > 25% REQUIRED

**NORTH FACADE**  
 15'-0" WALL LENGTH = 43% OF ADJACENT WALL / 43% > 25% REQUIRED

**SOUTH FACADE**  
 46'-0" WALL LENGTH = 200% OF ADJACENT WALL / 200% > 25% REQUIRED

**DESIGN ELEMENTS**

- DISTINCT BASE, FIELD WALL, AND PARAPET WITH CORNICE
- TWO DIFFERENT TYPES OF STONE UTILIZED
- CAST STONE ACCENT BAND TO DEFINE BASE
- SOLDER COURSE ACCENT IN BRICK FIELD WALL
- THREE VARIATIONS IN ROOF PROFILE
- EARTH TONE COLOR PALETTE UTILIZED



FLOOR PLAN

0' 5' 10' 25'

**ARCHITECTURAL FEATURES**

**CANOPIES / AWNINGS** (REQUIRED ALONG 25% OF FACADE)  
 EAST FACADE 484.1 LF = 85% > REQUIRED 25%  
 WEST FACADE 137.5 LF = 85% > REQUIRED 25%  
 NORTH FACADE 36.0 LF = 47.3% > REQUIRED 25%  
 SOUTH FACADE 46.9 LF = 91.8% > REQUIRED 25%

**WINDOWS**  
 EAST FACADE 41.1 LF  
 WEST FACADE 102.9 LF  
 NORTH FACADE 54.0 LF  
 SOUTH FACADE 35.8 LF  
 237.8 LF = 50.1% OF THE TOTAL BUILDING LENGTH OF 474 LF

**ARTICULATED PUBLIC ENTRANCES**  
 26'-4" TO 27'-4" HEIGHT PROVIDED  
 2.3 ENTRANCES PROVIDED PER 120 LF OF FACADE  
 CANOPES OR AWNINGS PROVIDED FOR WEATHER PROTECTION ABOVE ENTRANCES

**SCREENING**  
 3'-4" MINIMUM PARAPET HEIGHT

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 10300 North Central Expressway, suit 450  
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 License No: 8069 dons@dfsarchitect.com

5-4-22

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 CONSTRUCTION

GRAND PRAIRIE, TEXAS  
 DONALD F. SOPRANZI, AIA, LEED-AP ARCHITECT  
 LOT 1R, BLOCK A GRAND CENTRAL CROSSING ADDITION  
 FACADE ANALYSIS

**Appendix F Menu Items Checklist**

The Appendix F Menu Items Checklist intended to help developers organize their Development Request submittal and communicate Menu Items choices to Staff. This checklist is not intended to be used without first reading Appendix F. Developers must select a total of 12 Menu Items. Unless otherwise indicated, each Menu Item counts as 1 Menu Item.

**Instructions:** Complete checklist by indicating which Menu Items you select. After completing the checklist fill out the Menu Item Summary Table.

Usable Open Space & Pedestrian Linkages		
✓ If Selected	Menu Item	Description
<input type="checkbox"/>	Enhanced Usable Open Space	Usable Open Space that exceeds the minimum requirements with at least four Tier 1 amenities and three or more Tier 2 amenities. <ul style="list-style-type: none"> <li>• Tier 1 Amenities: two types of seating, active water feature, furnished play area, dog park, sculpture, artwork, furnished outdoor game area, or comparable amenity proposed by the developer.</li> <li>• Seasonal plantings in decorative planters, textured paving, living wall, mural, decorative lighting, USB charging station, electrical hook-up to allow programming, or a comparable amenity proposed by the developer.</li> </ul> → Circle or highlight the proposed amenities.
<input type="checkbox"/>	Above-and-Beyond Usable Open Space (2)	Developers who are able to demonstrate to the Planning and Zoning Commission and City Council that the proposed Usable Open Space goes above-and-beyond the Enhanced Usable Open Space may count the space as two Menu Items. <ul style="list-style-type: none"> <li>* Include project narrative or exhibit that lists the proposed amenities and describes why the space should be considered above-and-beyond Usable Open Space.</li> </ul>
<input type="checkbox"/>	Public Art Piece	Dedicate at least 1% of the total project cost to one major public art piece to be centrally located.
<input type="checkbox"/>	Public Art Series	Dedicate at least 1% of the total project cost to multiple public art pieces to be located throughout the development.
Site Design & Building Orientation (Select at Least Two Menu Items)		
✓ If Selected	Menu Item	Description
<input type="checkbox"/>	75% Parking Behind Buildings	Buildings shall be placed towards the street with 75% of off-street parking located to the side or rear of buildings.
<input type="checkbox"/>	100% Parking Behind Buildings (1.5)	Buildings shall be placed towards the street with 100% of off-street parking located to the side or rear of buildings.
<input checked="" type="checkbox"/>	Add Parking Lot Trees	Provide one parking lot tree per five spaces. Parking lot trees should be capable of achieving 30% canopy coverage over the parking area within 10 years of planting.
<input type="checkbox"/>	Rain Gardens	Provide bioretention areas, or rain gardens, between every other row of parking.
<input type="checkbox"/>	Permeable Surface	Use permeable concrete and pavers on 15% of the surface parking lot.
<input checked="" type="checkbox"/>	Strategic Parking	Submit on of the following Strategic Parking Plans: <ul style="list-style-type: none"> <li>• Parking Reclamation Plan – Create a parking reclamation plan that includes specific strategies to reclaim surplus parking spaces to expand structures and usable open spaces or create new ones. Developers should anticipate changes in parking demand and design their site to create opportunities for adaptable reuse.</li> <li>• Parking Flex Plan – Create a parking flex plan that shows how parking spaces can be temporarily used for something other than parking, such as festivals, outdoor dining, community gatherings, and other events. The plan should identify the parking spaces and describe how they will be used.</li> </ul>

Item 25.

		<ul style="list-style-type: none"> <li>Phased Parking Plan – Create a phased parking plan and construct parking spaces in phases as demand requires. Areas intended for future parking phases would remain as green spaces until converted to parking spaces. If, after five years, future parking spaces have not been constructed, they shall become permanent green space.</li> </ul> <p>→ Circle or highlight selected parking plan.</p>
<input type="checkbox"/>	Ceremonial Drive	Developments over 20 acres or developments that include multiple lots/buildings shall provide a grand promenade or ceremonial drive with trees planted every 30 feet.
<input type="checkbox"/>	Gateway	Developments over 20 acres or developments that include multiple lots/buildings shall use site layout and building placement to create a gateway, frame usable open space, or create a view corridor with appropriate terminus.
<input type="checkbox"/>	Park Once Environment (1.5)	<p>Developments over 10 acres or developments that include multiple lots/buildings shall use site layout and building placement to create a park once environment.</p> <ul style="list-style-type: none"> <li>Shared parking agreements between different lots/occupants must be in place.</li> </ul>

**Building Design (Select at Least Six Menu Items)**

✓ If Selected	Menu Item	Description
<input type="checkbox"/>	Materials Mix	A single material, color, or texture shall not exceed 60% of a single facade.
<input type="checkbox"/>	Stone Accent	All four facades shall include a stone accent in a contrasting color and texture from the primary building material. The combined area of the stone accent shall be at least 25% of the vertical surface area of all facades.
<input checked="" type="checkbox"/>	Color Contrast	Each facade shall include at least two contrasting colors.
<input checked="" type="checkbox"/>	Specialty Accent	Color and/or material shall be used to highlight entrances of multi-tenant buildings. Specialty accents should reflect the personality or character of the occupant.
<input checked="" type="checkbox"/>	Corner Treatment	<p>Developers shall use at least three architectural elements to emphasize corners of the buildings: corner entrance, accent material, projecting cornice, tower element, enhanced windows, cupolas, gables, dormers, balconies, articulation, or a comparable element chosen by the developer. Corner treatments must be one of the Menu Items for buildings at key intersections.</p> <p>→ Circle or highlight the proposed architectural elements.</p>
<input checked="" type="checkbox"/>	Articulated Public Entrance	<p>The primary building entrance shall be visibly prominent from a public street. At least three of the following shall be used: recessed facade, projecting facade, raised canopy, taller door dimensions, double doors, lighting fixtures on either side of the entry, steps or stoops, changes in materials, arches, columns, eave treatment, transom windows, or a comparable element chosen by the developer.</p> <p>→ Circle or highlight the proposed elements.</p>
<input type="checkbox"/>	Buildings at Key Intersections	<p>Developers should highlight key intersections by using additional design elements to create gateways or landmarks. Buildings at key intersections shall include at least three of the following features: corner plaza with plantings and seating, corner tower form, cupolas, large window openings, sloped or pitched roof form, richer colors, seasonal plantings, or a comparable element chosen by the developer.</p> <p>→ Circle or highlight the proposed features.</p>
<input checked="" type="checkbox"/>	Roof Profile Variation	Developers shall use parapets or another technique to create a distinctive roof profile.
<input checked="" type="checkbox"/>	Articulation Elements	Each facade shall include at least three of the following items every 60 feet: change in roofline, facade modulation, window

Item 25.

		fenestration patterns, vertical columns, and change in material texture. → Circle or highlight the proposed items.
	Enhanced Windows	All facades with windows shall include at least two types of windows that differ in the style, size, shape, or placement.
	Canopy Variation	Facades shall include multiple types of canopies. Changes in shape, color, or material should be used to highlight an architectural feature or particular user while complementing the established design theme.  * It is likely that individual tenants will determine the final design of the canopy. If tenants are unknown at this time, submit an exhibit that illustrates variations in shape, color, and material within the intended design theme.
	Design Elements	Facades shall include at least three other design elements: trellises, towers, overhang eaves, banding, pilasters, projecting cornices, columns, string courses, rustication, lintels, or a comparable element proposed by the developer. → Circle or highlight the proposed design elements.

**Healthy, Smart, and Sustainable Community (Select at Least Two Menu Items)**

<input checked="" type="checkbox"/> If Selected	Menu Item	Description
<input type="checkbox"/>	Mature Trees	Provide mature trees for 30% of required trees. The locations of the mature trees should be focused in usable open spaces and along pedestrian paths.
<input type="checkbox"/>	Connect to Parks and/or Trails	Provide a connection to existing or proposed parks and/or trails. The connection should function as a continuation, not just a point of access. The connection shall include appropriate amenities such as bike racks, pet waste disposal stations, water fountains, misting stations, or a comparable amenity proposed by the developer. → Circle or highlight the proposed amenities.
<input type="checkbox"/>	Community Garden	Provide a community garden and participate in the City's community gardens partnership program.
<input type="checkbox"/>	Parking Reclamation Plan	Create a parking reclamation plan that includes specific strategies to reclaim surplus parking spaces to expand structures and usable open spaces or create new ones. Developers should anticipate changes in parking demand and design their site to create opportunities for adaptable reuse.
<input type="checkbox"/>	Parking Flex Plan	Create a parking flex plan that shows how parking spaces can be temporarily used for something other than parking, such as festivals, outdoor dining, community gatherings, and other events. The plan should identify the parking spaces and describe how they will be used.
<input type="checkbox"/>	Phased Parking Plan	Create a phased parking plan and construct parking spaces in phases as demand requires. Areas intended for future parking phases would remain as green space until converted to parking spaces. If, after five years, future parking phases have not been constructed, they shall become permanent green space.
	Green Infrastructure	Provide and maintain green infrastructure such as bioretention areas (rain gardens), planter boxes, or vegetated buffer strips consistent with NCTCOG's integrated Stormwater Management (iSWM) Program.
<input type="checkbox"/>	Solar Energy	Use solar energy to satisfy 25% or more of on-site energy demand.
<input type="checkbox"/>	Preserve Open Space	Reserve existing natural areas comprising at least 5% of the overall project size. Such areas should incorporate quality non-invasive tree stands, habitat or riparian areas. Such areas should not include existing floodplain or other areas already protected or inherently unsuitable for development.

Item 25.

<input type="checkbox"/>	70% Native Plants	Use native and drought tolerant species for at least 70% of planting materials.
<input type="checkbox"/>	Wi-Fi (.5)	Provide Free Wi-Fi in common areas.
<input type="checkbox"/>	USB Charging Stations (.5)	Provide USB charging stations in usable open spaces.
<input type="checkbox"/>	Smart Parking (.5)	Provide web-connected sensors in pavement that help people find and/or reserve a parking space.
<input type="checkbox"/>	Ride-Sharing Drop-Off (.5)	Provide designated spaces for ride-sharing pick-ups and drop-offs.
<input type="checkbox"/>	Permeable Paving (.5)	Use permeable pavement on 15% of the parking lot.
<input type="checkbox"/>	Green Roofs (.5)	Provide a green roof that is at least 50% of total roof area.
<input type="checkbox"/>	Living Wall (.5)	Provide a living wall that is at least 60% of the area of the facade on which it is constructed.
<input type="checkbox"/>	Recycling Program (.5)	Institute a mandatory recycling program for occupants. Provide recycling bins in addition to trash bins in common areas.
<input checked="" type="checkbox"/>	30% Native Plants (.5)	Use native and drought tolerant species for at least 30% of planting materials.
<input checked="" type="checkbox"/>	Pollinator Friendly Flowers (.5)	Use native plants that attract bees, butterflies, moths, and hummingbirds for at least 20% of required landscape materials.

**Alternative Compliance**

The Menu Items listed do not represent an exhaustive list. Developers may propose a comparable item not listed. If developers are able to prove that the proposed item meets the intent of Appendix F, Staff may recommend that the proposed item be counted as a Menu Item. Indicate the proposed item, identify which of the four elements the proposed item will count towards, and provide a brief description.

<input checked="" type="checkbox"/> If Selected	Proposed Item/Element	Description
<input type="checkbox"/>		
<input type="checkbox"/>		
<input type="checkbox"/>		
<input type="checkbox"/>		

**Menu Item Summary Table**

Element	# of Menu Items
Usable Open Space & Pedestrian Walkways	0
Site Design & Building Orientation	2
Building Design	9
Healthy, Smart, Sustainable Community	2
Alternative Compliance	
<b>Total Menu Items:</b>	<b>13</b>



**CITY OF GRAND PRAIRIE  
ORDINANCE**

**MEETING DATE:** 06/07/2022

**REQUESTER:** Monica Espinoza, Administrative Supervisor

**PRESENTER:** Savannah Ware, AICP, Chief City Planner

**TITLE:** ZON-22-03-0008 - Zoning Change/Concept Plan - 1305 Seeton Rd (City Council District 6). Zoning Change from Agriculture to a Planned Development District for Single Family Use and a Concept Plan depicting 38 detached units on 9.010 acres. Lot 1, Block 1 Gateway Church Addition, City of Grand Prairie, Dallas County, Texas, zoned Agriculture (A), within the Lake Ridge Corridor Overlay district, with an approximate address of 1305 E Seeton Rd (On May 9, 2022, the Planning and Zoning Commission recommended approval by a vote of 8-0)

**RECOMMENDED ACTION:** Approve with conditions

**SUMMARY:**

Zoning Change from Agriculture to a Planned Development District for Single Family Use and a Concept Plan depicting 38 detached units on 9.010 acres. Lot 1, Block 1 Gateway Church Addition, City of Grand Prairie, Dallas County, Texas, zoned Agriculture (A), within the Lake Ridge Corridor Overlay district, with an approximate address of 1305 E Seeton Rd.

**PURPOSE OF REQUEST:**

The purpose of this request is to rezone the property to facilitate the development of 38 single-family detached homes with 60-foot minimum lot widths.

**ADJACENT LAND USES:**

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1. Zoning and Land Use**

Direction	Zoning	Existing Use
North	Planned Development (PD-370): Office and Daycare	Single-Family Residential
South	Planned Development (PD-318B): Single-Family Detached	Rush Creek Church
West	Mansfield City Limits	Lake Ridge High School

East

Planned Development (PD-318B):  
Single-Family Detached

Single-Family Residential

**HISTORY:**

- November 20, 1990: Upon annexation, the parcel was zoned Agricultural (A).

**PROPOSED USE CHARACTERISTICS AND FUNCTION:**

The proposed nine-acre single family subdivision will be accessible from Seeton Road. The development will connect to existing infrastructure and will complement the surrounding existing development.

**CONFORMANCE WITH THE COMPREHENSIVE PLAN:***Future Land Use Map*

The Future Land Use Map (FLUM) in the City of Grand Prairie's 2018 Comprehensive Plan is intended as an outlook for the future use of land and the character of development in the community. The FLUM designates this site area as low density residential. Low density residential is a traditional single-family detached neighborhood. Low density residential areas generally range between zero and six dwelling units per acre. The proposed zoning designation is in alignment with the FLUM.

**ZONING REQUIREMENTS:***Density and Dimensional Requirements*

Table 2 illustrates that the Planned Development (PD) will have a base zoning district of Single-Family (SF-5).

**Table 2. Density and Dimensional Requirements**

Standard	SF-5 PD Base District	Proposed	Compliance
Max. Density	8.7	4.2	Yes
Min. Living Area	1,600	1,800	Yes
Min. Lot Area (Sq. Ft.)	6,500	6,500	Yes
Min. Lot Width (Ft.)	60	60	Yes
Min. Lot Depth (Ft.)	100	100	Yes
Min. Front Setback (Ft.)	25	20*	Variance*
Min. Rear Setback (Ft.)	10	10*	Variance*
Min. Int. Side Setback (Ft.)	5	5	Yes
Min. Side Yard on Street (Ft.)	15	10	Variance
Max. Height (Ft.)	25	25	Yes
Max. Lot Coverage (%)	50	65	Variance

\*Appendix W allows a 17 Ft. minimum front yard setback for residential lots that are built with non-front entry (J-swing or side Swing) garages that extend past the primary front building area of the house provided that the garage portion does not consume more than 30% of the overall



frontage of the house. Additionally, All cul-de-sac lots will have a 15 Ft. front yard and a 5 Ft. rear yard setback.

*Additional Single Family Detached Considerations:*

The applicant is seeking a variance to the requirement that the garage portion of the house not exceed 30% of the overall frontage of the house. The conceptual elevations feature two-car garages with a third garage built into an offset of the front facade. The garages may consume 65% of the overall frontage of the house for this configuration.

Additionally, the developer is proposing the following:

- 30% of the homes shall have J-Swing Garages
- The following shall apply to homes with street facing garages:
  - A minimum of two garage bays shall be provided
  - Two-car double wide garage doors shall be permitted.
  - On front entry style three-car garages that incorporate a double-wide garage door with a single-wide garage door, a minimum offset of 12 inches shall be required.
- Porches with a minimum of 50 Sq. Ft. may be constructed with a 17-foot minimum front yard setback.
- Masonry/Stone requirement shall be a minimum of 80% on all residential structures as follows:
  - Fireplaces and chimney flues on exterior walls shall be 100% masonry chimney on all sides facing street. The sides facing the roof may be cementitious fiber. Flues on interior fireplaces may be constructed of cementitious fiber. If vent stacks are used, no masonry shall be required.
- Minimum roof pitch should be 8:12 for all roof structures covering one or more climate-controlled living areas with a minimum roof pitch of 4:12 for front yard porches and non-front entry garages including but not limited to, side entry, front oriented (J-swing) side entry, or detached rear yard garage configurations.
- Three-tab type roof shingles are not permitted. Up to 4 shingle colors can be used in the subdivision.
- All front entry house doors shall be 8 Ft. in height.

**VARIANCES:**

The applicant is requesting the following variances:

1. Variance to front setback of 25 Ft. and rear setback of 10 Ft. Applicant is proposing a front setback of 20 Ft. with cul-de-sac lots being 15 Ft. front and 5 Ft. rear setback.
2. Variance to minimum side yard of 15 Ft. on Street. Applicant is proposing 10 Ft.
3. Variance to maximum lot coverage of 50%. Applicant is proposing 65%.
4. Variance to curvilinear requirement. Appendix W requires that new residential streets defect a minimum of 15 degrees within a 500-foot length. Applicant is proposing no curves to the street.
5. Variance to allow front entry garages that do not meet Appendix W requirements. Appendix W allows front entry garages when the following conditions exist:
  - a. That the face of the garage door or doors is set back a minimum of halfway between the front yard and the rear yard.
  - b. That the garage doors be designed in such a way that a minimum of 45 linear feet of driveway is provided between the garage door and the street right of way.

- c. That a minimum of three garage bays be provided for all street-facing garages.

**ANALYSIS:**

The proposed zoning of Single-Family (SF-5) aligns with the FLUM. Since this is infill development, and the proposal is consistent with the surrounding development, staff has no objection to three of the variances requested.

Staff is unable to support the requested variance to decrease the front yard setback. A shorter front setback may push vehicles parked on the driveway into the sidewalk area.

**RECOMMENDATION:**

- On May 9, 2022, the Planning and Zoning Commission recommended approval with a vote of 8-0.
- The Developmental Review Committee (DRC) recommends approval with the following condition:
  - When garages exceed 30% of the overall frontage of the house, garage doors shall be stained cedar with decorative hardware. The developer shall provide an additional decorative element.

**BODY:**

**AN ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS, AMENDING THE ZONING ORDINANCE AND MAP TO REZONE 9.01 ACRES BEING LOT 1, BLOCK 1 GATEWAY CHURCH ADDITION, CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS, FROM AGRICULTURE (A), TO A PLANNED DEVELOPMENT DISTRICT FOR A SINGLE-FAMILY DETACHED USES; SAID ZONING MAP AND ORDINANCE BEING ORDINANCE NUMBER 7779 AND PASSED ON NOVEMBER 20, 1990; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; CONTAINING A SAVINGS CLAUSE; CONTAINING A SEVERABILITY CLAUSE; AND TO BECOME EFFECTIVE UPON ITS PASSAGE AND APPROVAL**

**WHEREAS**, the owners of the property described herein below filed application with the City of Grand Prairie, Texas, petitioning an amendment of the Zoning Ordinance and Map of said city so as to change the zoning designation of said property from Agriculture (A) to a Planned Development District for a Single-Family Detached Uses; and

**WHEREAS**, the Planning and Zoning Commission of Grand Prairie, Texas, held a public hearing on said application on May 9, 2022, after written notice of such public hearing before the Planning and Zoning Commission on the proposed rezoning had been sent to owners of real property lying within 300 feet of the property on which the change of classification is proposed, said Notice having been given not less than ten (10) days before the date set for hearing to all such owners who rendered their said property for City taxes as the ownership appears on the last approved City Tax Roll, and such Notice being served by depositing the same, properly addressed and postage paid, in the City Post Office; and

**WHEREAS**, after consideration of said application, the Planning and Zoning Commission of the City of Grand Prairie, Texas voted 8 to 0 to recommend to the City Council of Grand Prairie, Texas, that the hereinafter described property be rezoned from its classification of Agriculture (A) to a Planned Development District for Single-Family Detached Use; and

**WHEREAS**, Notice was given of a further public hearing to be held by the City Council of the City of Grand Prairie, Texas, in the City Hall Plaza Building at 6:30 o'clock P.M. on June 7, 2022, to consider the advisability of amending the Zoning Ordinance and Map as recommended by the Planning and Zoning Commission, and all citizens and parties at interest were notified that they would have an opportunity to be heard, such Notice of the time and place of such hearing having been given at least fifteen (15) days prior to such hearing by publication in the Fort Worth Star Telegram, Grand Prairie, Texas, a newspaper of general circulation in such municipality; and

**WHEREAS**, all citizens and parties at interest have been given an opportunity to be heard on the matter of the proposed rezoning and the City Council of the City of Grand Prairie, Texas, being informed as to the location and nature of the use proposed on said property, as well as, the nature and usability of surrounding property, have found and determined that the property in question, as well as, other property within the city limits of the City of Grand Prairie, Texas, has changed in character since the enactment of the original Zoning Ordinance, changing the zoning from its classification of Agriculture (A) to a Planned Development District for a Single-Family Detached Uses and, by reason of changed conditions, does consider and find that this amendatory Ordinance should be enacted since its provisions are in the public interest and will promote the health, safety and welfare of the community.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS THAT:**

**SECTION 1.** Ordinance Number 4779, being the Zoning Ordinance and Map of the City of Grand Prairie, Texas, showing the locations and boundaries of certain districts, and said Zoning Ordinance and Map having been made a part of an Ordinance entitled:

“AN ORDINANCE AMENDING IN ITS ENTIRETY CHAPTER 28 OF THE CODE OF ORDINANCES KNOWN AS THE ZONING ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS, AS PASSED AND APPROVED BY THE CITY COUNCIL ON THE 20<sup>TH</sup> DAY OF NOVEMBER 1990, TOGETHER WITH ALL AMENDMENTS THERETO AND ENACTING A REVISED ORDINANCE ESTABLISHING AND PROVIDING FOR ZONING REGULATIONS; CREATING USE DISTRICTS IN ACCORDANCE WITH A COMPREHENSIVE PLAN...”

and passed and approved November 20, 1990, as amended, is hereby further amended so as to rezone the following described area from its classification of Agriculture (A) to a Planned Development District for Single-Family Detached Uses.

Description of Land:

9.01 ACRES OF LAND BEING LOT 1, BLOCK 1 GATEWAY CHURCH ADDITION, CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS, AND, AS DEPICTED IN THE ATTACHED EXHIBIT A – LOCATION MAP INCORPORATED HEREIN BY REFERENCE.

**SECTION 2.** The purpose and intent of this zoning ordinance is to create a development framework that encourages and supports higher standards usually found in a master planned community. Standards on infrastructure, landscaping, and construction are intended to provide for high quality residential development.

**SECTION 3.** The homeowner's association (HOA) is responsible for review, maintenance, and enforcement of HOA design and other internal development standards. The HOA is also responsible for ensuring resources are available for the care of the common elements and amenities of the community which are typically limited to the community fence(s) and landscaping outside of public street rights-of-way.

**SECTION 4.** The following development standards shall apply to development within this Planned Development District.

- A. The development shall be in substantial conformance, as determined by the Planning Director or designee, with the attached Exhibit B – Concept Plan incorporated herein by reference. The Concept Plan is intended to be a graphic depiction of the likely lot and block configuration, street layout and amenity plan of the development. It is not intended to constitute a final design or approval, implied or otherwise, of the development. The ultimate development design will be based on the development standards herein contained and/or site limitations at the time of final platting.
- B. The development shall include landscaping and open spaces that are planned and coordinated throughout the development. The development shall be in substantial conformance, as determined by the Planning Director or designee, with the attached Exhibit B – Concept Plan.
- C. Building elevations shall be in substantial conformance, as determined by the Planning Director or designee, with the attached Exhibit C – Conceptual Elevations.
- D. All utilities shall be placed below ground, except for major high voltage transmission lines.
- E. All streets, driveways, and vehicular circulation areas shall be constructed of concrete. Temporary parking and drive areas for model homes may be asphalt.
- F. Any zoning, land use requirements and restrictions not contained within this Planned Development Ordinance shall conform to those requirements for Single Family Five Residential District (SF-5) District in the Unified Development Code (UDC), as amended.
- G. A Preliminary Plat and Final Plat shall be reviewed and approved by the City of Grand Prairie Planning and Zoning Commission prior to the issuance of any building permits.
- H. Density and Dimensional Requirements

The development shall be in conformance with density and dimensional standards as shown on the attached Exhibit B – Concept Plan, incorporated herein by reference, with said amendments being more particularly described below.

Standard	SF-5 PD Base District Or Appendix W	Amendment By this PD
Min. Front Yard Setback (Ft.)	25	20
Cul-de-sac lot Min Front Yard Setback (Ft.)	25	15
Cul-de-sac lot Min Rear Yard Setback (Ft.)	10	5
Min. On Street Side Yard Setback (Ft.)	15	10
Curvilinear requirements for streets	15 deg per 500 Ft.	None
Two Car Garage - Driveway Width (Ft.)	24	18
Three Car Garage – Driveway Width (Ft.)	24	24

- I. Garages (J-swing)
  - i. J-swing garages shall be provided for at least 30% of the lots.
- J. Garages (Front Entry)
  - i. A minimum of two garage bays shall be provided.
  - ii. On front entry style three-car garages that incorporate a double-wide garage door with a single-wide garage door, a minimum offset of 12 inches shall be required
  - iii. When garages exceed 30% of the overall frontage of the house, garage doors shall be stained cedar with decorative hardware. The developer shall provide an additional decorative element.
- K. Porches with a minimum of 50 Sq. Ft. may be constructed with a 17-foot minimum front yard setback.
- L. Masonry/Stone requirement shall be a minimum of 80% on all residential structures as follows:
  - i. Fireplaces and chimney flues on exterior walls shall be 100% masonry chimney on all sides facing street.
  - ii. The sides facing the roof may be cementitious fiber.
  - iii. Flues on interior fireplaces may be constructed of cementitious fiber.
  - iv. If vent stacks are used, no masonry shall be required.
- M. Roof Pitch
  - i. Minimum roof pitch should be 8:12 for all roof structures covering one or more climate-controlled living areas with a minimum roof pitch of 4:12 for front yard porches and non-front entry garages including but not limited to, side entry, front oriented (J-swing) side entry, or detached rear yard garage configurations.
- N. Shingles
  - i. Three-tab type roof shingles are not permitted.
  - ii. Up to 4 shingle colors can be used in the subdivision.
- O. Front Entry Doors
  - i. Shall be 8 Ft. in height.

**SECTION 5.** All appeals to the density, dimensional, architectural, and land use requirements of this Ordinance, as well as appeals to other applicable requirements of the Unified Development Code relating to this Ordinance, shall require an amendment to this Ordinance. Such amendment shall be considered by the Planning and Zoning Commission and the City Council at a public hearing.

**SECTION 6.** All ordinances or parts of ordinances not consistent or conflicting with the provisions of this Ordinance are hereby repealed. Provided that such repeal shall be only to the extent of such inconsistency and in all other respects this Ordinance shall be cumulative of other ordinances regulating and governing the subject matter covered in this Ordinance.

**SECTION 7.** It is further provided that in case a section, clause, sentence or part of this Ordinance shall be deemed or adjudged by a Court of competent jurisdiction to be invalid, then such invalidity shall not affect, impair or invalidate the remainder of this Ordinance.

**SECTION 8.** The terms and provisions of this Ordinance are severable and are governed by Section 1-4 of the Code of Ordinances of the City of Grand Prairie, Texas.

**SECTION 9.** This Ordinance shall be in full force and effect from and after its passage and approval.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, ON THIS THE 7<sup>TH</sup> DAY OF JUNE 2022.**

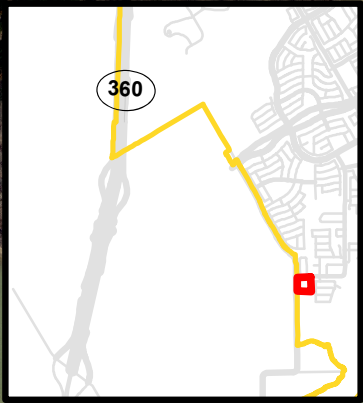
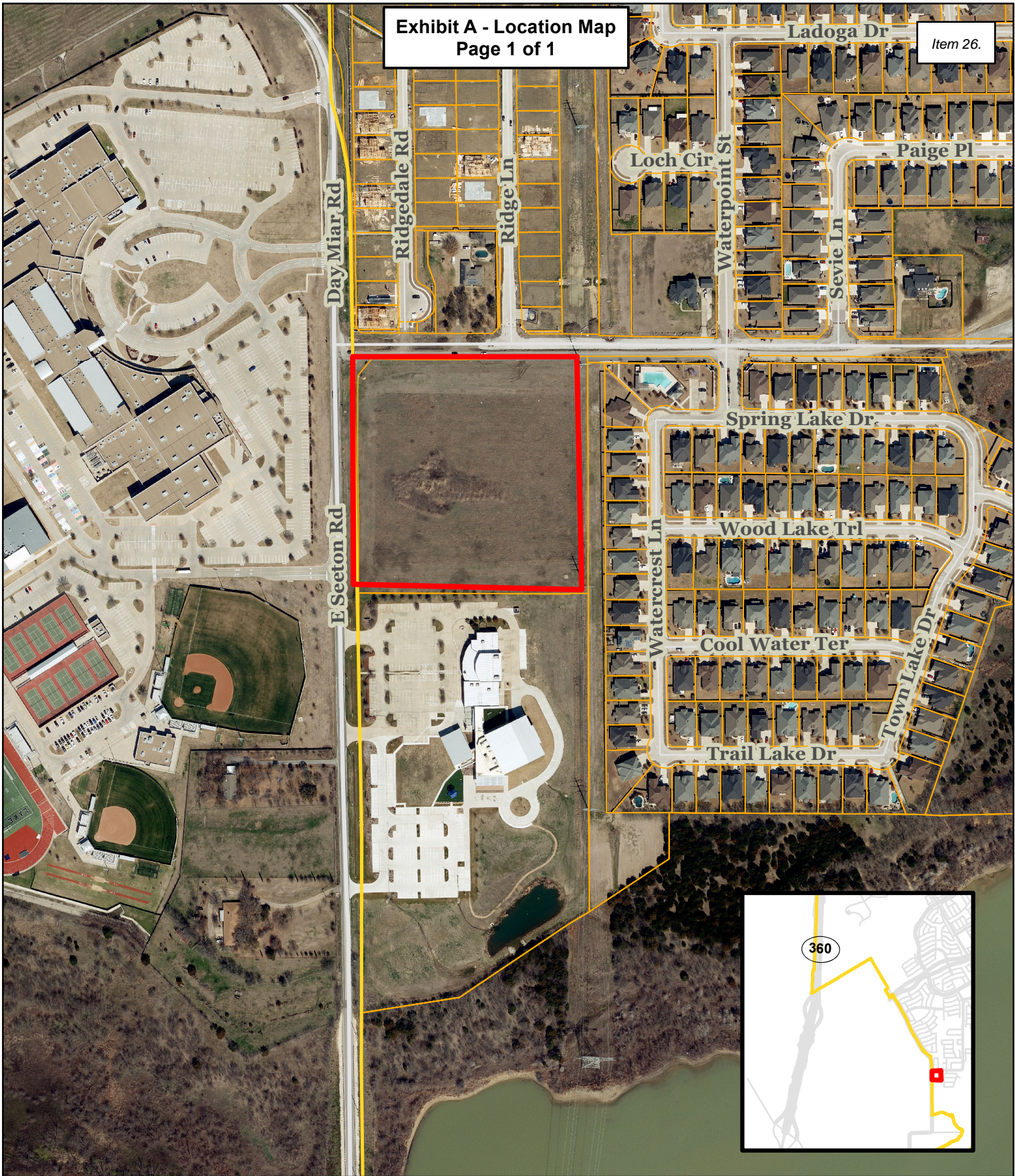
**ORDINANCE NO. X-2022**

**PLANNED DEVELOPMENT NO. X**

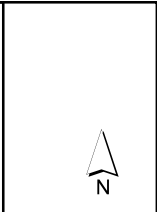
**ZONING CASE NO. ZON-22-03-0008**

**Exhibit A - Location Map**  
**Page 1 of 1**

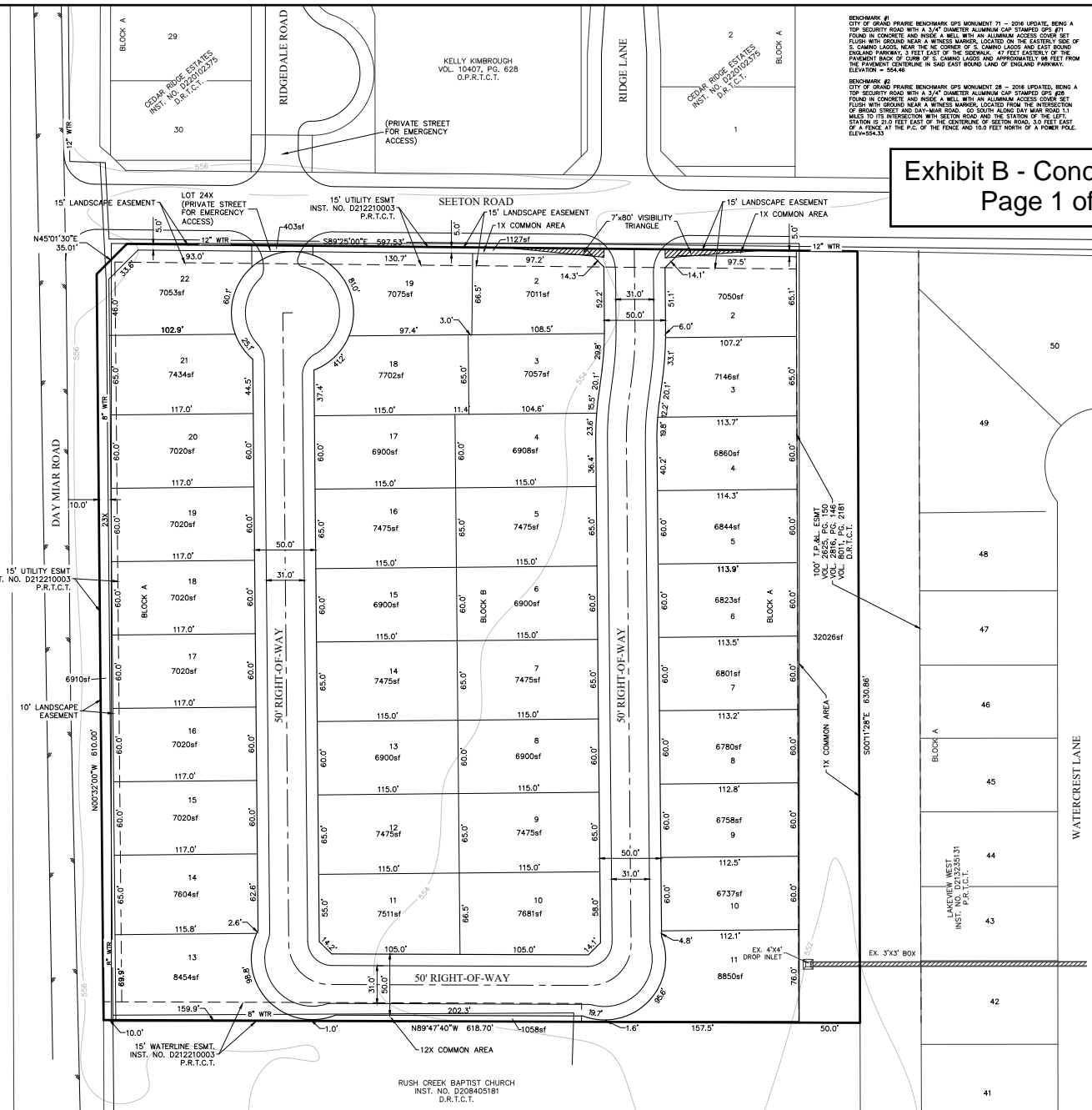
Item 26.



**CASE LOCATION MAP**  
**ZON-22-03-0008 - Zoning Change/Concept Plan**  
**Seeton Road**

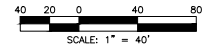


**City of Grand Prairie**  
**Development Services**  
(972) 237-8255  
www.gptx.org



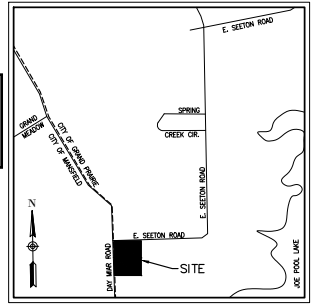
**BENCHMARK #1**  
 CITY OF GRAND PRAIRIE BENCHMARK GPS MONUMENT 71 - 2016 UPDATE, BEING A TOP SECURITY ROAD WITH A 3/4" DIAMETER ALUMINUM CAP STAMPED GPS #71 FOUND IN CONCRETE AND IRON. A WELL WITH AN ALUMINUM ACCESS COVER SET PLUSH WITH GRASS NEAR A WINDY WARDEN, LOCATED ON THE EASTERN SIDE OF S. CHAND LANE, NEAR THE NE CORNER OF S. CHAND LANE AND EAST BOUND ENGLAND PARKWAY, 3 FEET EAST OF THE SIDEWALK, 47 FEET EAST OF THE PAVEMENT EDGE OF S. CHAND LANE AND APPROXIMATELY 100 FEET FROM THE PERMANENT CENTERLINE IN S/D EAST BOUND LAND OF ENGLAND PARKWAY. ELEVATION = 564.48

**BENCHMARK #2**  
 CITY OF GRAND PRAIRIE BENCHMARK GPS MONUMENT 28 - 2016 UPDATE, BEING A TOP SECURITY ROAD WITH A 3/4" DIAMETER ALUMINUM CAP STAMPED GPS #28 FOUND IN CONCRETE AND IRON. A WELL WITH AN ALUMINUM ACCESS COVER SET PLUSH WITH GRASS NEAR A WINDY WARDEN, LOCATED ON THE INTERSECTION OF BROAD STREET AND DAY-MAR ROAD, 50' SOUTH ALONG DAY-MAR ROAD 1.1 METERS TO THE INTERSECTION WITH SEETON ROAD AND THE CENTERLINE OF THE STATION IS 2.0 FEET EAST OF THE CENTERLINE OF SEETON ROAD, 1.0 FEET EAST OF A FENCE AT THE P.C. OF THE FENCE AND 10.0 FEET NORTH OF A POWER POLE. ELEVATION = 564.33



# Exhibit B - Concept Plan

## Page 1 of 1



### Density & Dimensional Requirements

Standard	SF-5 PD Base District	Proposed	Compliance
Max. Density	8.7	4.2	Yes
Min. Living Area	1,600	1,800	Yes
Min. Lot Area (Sq. Ft.)	6,500	6,500	Yes
Min. Lot Width (Ft.)	60	60	Yes
Min. Lot Depth (Ft.)	100	100	Yes
Min. Front Setback (Ft.)	25	20*	Variance*
Min. Rear Setback (Ft.)	10	10*	Variance*
Min. Int. Side Setback (Ft.)	5	5	Yes
Min. Side Yard on Street (Ft.)	15	10	Variance*
Max. Height (Ft.)	25	25	Yes
Max. Lot Coverage (%)	50	65	Variance*

\*Appendix W allows a 17 Ft. minimum front yard setback shall be permitted for residential lots that are built with non-front entry (J-swing or side Swing) garages that extend past the primary front building area of the house provided that the garage portion does not consume more than 30% of the overall frontage of the house. Additionally, all cul-de-sac lots will have a 15 Ft. front yard and a 5 Ft. rear yard setback.

### METES AND BOUNDS

1305 E. SEETON ROAD

BEING A 9.01 acre tract of land situated in the S.C. Nell Survey, Abstract No. 1159, City of Grand Prairie, Tarrant County, Texas, said tract being conveyed to Gateway Church, a southern Baptist congregation of Mansfield, Texas as recorded under instrument No. D209002705, Deed Records, Tarrant County, Texas (D.R.T.C.T.) and being more particularly described by metes and bounds as follows:

BEGINNING at the northeast corner of said Gateway tract, same being the northwest corner of Lakewood West, an addition to the City of Grand Prairie as recorded under instrument No. D213235131, Plat Records, Tarrant County, Texas, same being the south line of Seeton Road (a 60 foot right-of-way);

THENCE South 00 degrees 11 minutes 28 seconds East, departing the south line of said Seeton Road along the common line between said Gateway tract and said Lakewood West, a distance of 630.86 feet to a point for corner, said corner being the northeast corner of a tract of land conveyed by deed to Rush Creek Baptist Church under instrument No. D208405181 (D.R.T.C.T.);

THENCE North 89 47 minutes 40 seconds West, departing the common line between said Gateway tract and said Lakewood West, along the common line between said Gateway tract and said Rush Creek tract, for a distance of 618.70 feet to a point for corner, said corner being the southwest corner of said Gateway tract, said corner also being in the east line of Day Mar Road (a variable width right-of-way);

THENCE North 00 degrees 32 minutes 00 seconds West, along the common line between said Gateway tract and said Day Mar Road, a distance of 610.00 feet to a point for corner, said point being in the south line of said Seeton Road;

THENCE North 45 degrees 01 minutes 30 seconds East, along the common line between said Gateway tract and said Seeton road, a distance of 35.01 feet to a point for corner;

THENCE South 89 degrees 25 minutes 00 seconds East, along the common line between said Gateway tract and said Seeton road, a distance of 597.53 feet to the POINT OF BEGINNING, containing 395.470 square feet or 9.011 acres of land, more or less.

**BRIEF SITE SUMMARY:**  
 SITE: 9.01 ACRES  
 COMMON AREAS=0.94 ACRES  
 38 RESIDENTIAL LOTS  
 5 COMMON AREA LOTS  
 TOTAL IMPERVIOUS AREA=5.39 ACRES (59.8%)

CASE NO. ZON-22-03-0008  
**CONCEPT PLAN**  
 SEETON ROAD & DAY MIAR ROAD  
 CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

**CIVIL ENGR DESIGN &**  
 (Tex. Reg. No. F 12655 N. CENTER DALLAS, TEXAS  
 TEL 214-373-1180 \* FAX 214-373-6580  
 daytorm@macatee-engineering.com philip@macatee-engineering.com





## **REPRESENTATIVE PRODUCT**

Case No. ZON-22-03-0008

A/C SF RANGING FROM  
1,850 – 4,000 sf

**PROJECTED PRICE POINTS:**

From the High \$400's

**REPRESENTATIVE PRODUCT**







**CITY OF GRAND PRAIRIE  
ORDINANCE**

**MEETING DATE:** 06/07/2022

**REQUESTER:** Monica Espinoza, Administrative Supervisor

**PRESENTER:** Rashad Jackson, AICP, CPM, Planning and Development Director  
Savannah Ware, AICP, Chief City Planner

**TITLE:** ZON-22-03-0006 - Zoning Change/Concept Plan - Entertainment Planned Development District (City Council District 1). Zoning Change from PD-207, PD-217, PD-236A, PD-236B, Light Industrial (LI) District to a Planned Development District for the Entertainment District and a Concept Plan on approximately 1,001.7 acres. Lot 1, Block 1, Tourist Center Addition, Lots 1-3, Block 1&2, Lone Star Park Addition, Lot 1, Block 8, Midpointe Addition, Phase 1, Midpointe, Tract 14, 14.2, 14.3, Israel Jennings Survey, Abstract No. 679, Tract 1.1, 1.2, 1.21, 1.22, 1.23, 1.24, 1.25, 1.26, 1.27, 1.4, 1.5, 1.6, 1.7, 1.8 John C. Read Survey, Abstract No. 1184, Tract 2, 7.3, 7.4, 7.5, 12, 21, 22, 23, 24, 24.2, 24.3, 24.4, 24.5, 25, Perry Linney Survey, Abstract No. 778, Tract 24 Joseph Graham Survey, Abstract No. 506, Tract 3.2, 3.3, 3.4, 3.5, 3.6, 3.7, 3.8, 3.9, Richard Wilson Survey, Abstract No. 1548, City of Grand Prairie, Dallas County, Texas, zoned PD-207, PD-217, PD-236A, PD-236B, Light Industrial (LI) District, within the Belt Line and IH-30 Overlay Corridor Districts and generally located north of IH-30 and east of N Belt Line Road (On May 9, 2022, the Planning and Zoning Commission recommended approval by a vote of 8-0).

**APPLICANT:** City of Grand Prairie

**RECOMMENDED ACTION:** Approve

**SUMMARY:**

Zoning Change from PD-207, PD-217, PD-236A, PD-236B, Light Industrial (LI) District to a Planned Development District for the Entertainment District and a Concept Plan on approximately 1,001.7 acres. Lot 1, Block 1, Tourist Center Addition, Lots 1-3, Block 1&2, Lone Star Park Addition, Lot 1, Block 8, Midpointe Addition, Phase 1, Midpointe, Tract 14, 14.2, 14.3, Israel Jennings Survey, Abstract No. 679, Tract 1.1, 1.2, 1.21, 1.22, 1.23, 1.24, 1.25, 1.26, 1.27, 1.4, 1.5, 1.6, 1.7, 1.8 John C. Read Survey, Abstract No. 1184, Tract 2, 7.3, 7.4, 7.5, 12, 21, 22, 23, 24, 24.2, 24.3, 24.4, 24.5, 25, Perry Linney Survey, Abstract No. 778, Tract 24 Joseph Graham Survey, Abstract No. 506, Tract 3.2, 3.3, 3.4, 3.5, 3.6, 3.7, 3.8, 3.9, Richard Wilson Survey, Abstract No. 1548, City of Grand Prairie, Dallas County,

Texas, zoned PD-207, PD-217, PD-236A, PD-236B, Light Industrial (LI) District, within the Belt Line and IH-30 Overlay Corridor Districts and generally located north of IH-30 and east of N Belt Line Road.

**PURPOSE OF REQUEST:**

The purpose of the request is to rezone the Lone Star Park area into one cohesive zoning district suited for entertainment uses. The current zoning is fragmented into several zoning areas, primarily Planned Developments and Light Industrial Districts, that do not address the existing entertainment uses in the area nor prepares for future development of additional entertainment related uses. This rezoning would consolidate the fragmented zoning into one Planned Development zoning district. Certain uses would be allowed by right, some prohibited and others requiring a Specific Use Permit within the Planned Development district.

The goal is to have one Planned Development that can facilitate many entertainment and retail uses, centered around the track, cricket stadium, theater, and other future primary uses. This Planned Development contains high-quality design and parking standards yet provides maximum flexibility in density/dimensional standards to foster unique development.

The Concept Plan depicts three subareas that will further regulate land uses. The purpose of the subareas is to give zoning context, cohesiveness, synergies, and eventually transitions between use areas. The intensive retail uses would be focused along Belt Line Road (red area), whereas the entertainment uses are within the interior core of the property (yellow area). The green area provides maximum land use possibilities but is also restricted by the floodplain.

To complete all this, the City has hired Kendig Keast Collaborative to help draft the proposed Planned Development document. Furthermore, this area will be branded as the “Entertainment District”.

**ADJACENT LAND USES:**

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1. Adjacent Zoning and Land Uses**

Direction	Zoning	Existing Use
North	City of Irving	Industrial, Vacant, and Residential
South	PD-217, LI	Undeveloped, Interstate Highway - 30
West	PD-217C	Industrial
East	LI	Undeveloped, Trinity River Floodplain, Industrial

**HISTORY:**

- June 19, 2007: City Council approved a zoning change amendment, creating PD-236B, amending the land use requirements of PD-236A on approximately 37 acres (Case Number Z070103B).
- March 31, 2007: City Council approved a site plan request for a theater on 25.5 acres (Case Number S070401).

- March 6, 2007: City Council approved a zoning change amendment, creating PD-236A, amending the boundary description, land use requirements, and landscaping requirements on approximately 37 acres (Case Number Z070103).
- September 17, 1996: City Council approved a zoning change and concept plan creating PD-217, a mixed-use planned development district for entertainment, retail, and office uses on 1,700 acres.
- December 14, 1993: City Council approved a site plan request for a horse racetrack facility on 15.8 acres.
- December 14, 1993: City Council approved a zoning change creating PD-207, a planned development for light industrial and horse racetrack facility uses, on 15.8 acres (Case Number Z931202).

### **RECOMMENDATION:**

On May 9, 2022, the Planning and Zoning Commission recommended approval by a vote of 8-0.

The Development Review Committee (DRC) recommends approval.

### **BODY:**

**AN ORDINANCE AMENDING THE ZONING ORDINANCE AND MAP TO REZONE LOT 1, BLOCK 1, TOURIST CENTER ADDITION, LOTS 1-3, BLOCK 1&2, LONE STAR PARK ADDITION, LOT 1, BLOCK 8, MIDPOINTE ADDITION, PHASE 1, MIDPOINTE, TRACT 14, 14.2, 14.3, ISRAEL JENNINGS SURVEY, ABSTRACT NO. 679, TRACT 1.1, 1.2, 1.21, 1.22, 1.23, 1.24, 1.25, 1.26, 1.27, 1.4, 1.5, 1.6, 1.7, 1.8 JOHN C. READ SURVEY, ABSTRACT NO. 1184, TRACT 2, 7.3, 7.4, 7.5, 12, 21, 22, 23, 24, 24.2, 24.3, 24.4, 24.5, 25, PERRY LINNEY SURVEY, ABSTRACT NO. 778, TRACT 24 JOSEPH GRAHAM SURVEY, ABSTRACT NO. 506, TRACT 3.2, 3.3, 3.4, 3.5, 3.6, 3.7, 3.8, 3.9, RICHARD WILSON SURVEY, ABSTRACT NO. 1548, CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS, WITHIN THE BELT LINE AND IH-30 OVERLAY CORRIDOR DISTRICTS AND GENERALLY LOCATED NORTH OF IH-30 AND EAST OF N BELT LINE ROAD, FROM PD-207, PD-217, PD-236A, PD-236B, AND LIGHT INDUSTRIAL (LI) DISTRICTS TO A PLANNED DEVELOPMENT FOR MIXED USES, WITH A BASE ZONING OF OFFICE DISTRICT; SAID ZONING MAP AND ORDINANCE BEING ORDINANCE NUMBER 4779 AND PASSED ON NOVEMBER 20, 1990, REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; CONTAINING A SAVINGS CLAUSE AND A SEVERABILITY CLAUSE; AND TO BECOME EFFECTIVE UPON ITS PASSAGE AND APPROVAL**

**WHEREAS**, the City of Grand Prairie, Texas, initiated an amendment of the Zoning Ordinance and map of said city so as to rezone and reclassify said property from its classification of PD-207, PD-217, PD-236A, PD-236B, and Light Industrial (LI) Districts to a Planned Development District for Mixed Uses with a base zoning of Office District; and

**WHEREAS**, the Planning and Zoning Commission of Grand Prairie, Texas, held a public hearing on said application on May 9, 2022, after written notice of such public hearing before the Planning and Zoning Commission on the proposed rezoning had been sent to owners of real property lying within 300 feet of the property on which the change of classification is proposed, said Notice having been given not less than ten (10) days before the date set for hearing to all such owners who rendered their said property for City taxes as the ownership appears on the last approved City Tax Roll, and such Notice being served by depositing the

same, properly addressed and postage paid, in the City Post Office; and

**WHEREAS**, after consideration of said application, the Planning and Zoning Commission of the City of Grand Prairie, Texas voted 8-0 to recommend approval to the City Council of Grand Prairie, Texas, of the request that the hereinafter described property be rezoned from its classification of PD-207, PD-217, PD-236A, PD-236B, and Light Industrial (LI) Districts to a Planned Development District for Mixed Uses with a base zoning of Office District; and

**WHEREAS**, Notice was given of a further public hearing to be held by the City Council of the City of Grand Prairie, Texas, in the City Hall Plaza Building at 6:30 o'clock P.M. on June 7, 2022, to consider the advisability of amending the Zoning Ordinance and Map as recommended by the Planning and Zoning Commission, and all citizens and parties at interest were notified that they would have an opportunity to be heard, such Notice of the time and place of such hearing having been given at least fifteen (15) days prior to such hearing by publication in the Fort Worth Star Telegram, Grand Prairie, Texas, a newspaper of general circulation in such municipality; and

**WHEREAS**, all citizens and parties at interest have been given an opportunity to be heard on all the matter of the proposed rezoning and the City Council of the City of Grand Prairie, Texas, being informed as to the location and nature of the use proposed on said property, as well as, the nature and usability of surrounding property, have found and determined that the property in question, as well as, other property within the city limits of the City of Grand Prairie, Texas, has changed in character since the enactment of the original Zoning Ordinance from its classification of PD-207, PD-217, PD-236A, PD-236B, and Light Industrial (LI) Districts to a Planned Development District for Mixed Uses with a base zoning of Office District; and, by reason of changed conditions, does consider and find that this amendatory Ordinance should be enacted since its provisions are in the public interest and will promote the health, safety and welfare of the community.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS THAT:**

#### **SECTION 1.**

Ordinance Number 4779, being the Zoning Ordinance and Map of the City of Grand Prairie, Texas, showing the locations and boundaries of certain districts, and said Zoning Ordinance and Map having been made a part of an Ordinance entitled:

“AN ORDINANCE AMENDING IN ITS ENTIRETY CHAPTER 28 OF THE CODE OF ORDINANCES KNOWN AS THE ZONING ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS, AS PASSED AND APPROVED BY THE CITY COUNCIL ON THE 20<sup>TH</sup> DAY OF NOVEMBER, 1990, TOGETHER WITH ALL AMENDMENTS THERETO AND ENACTING A REVISED ORDINANCE ESTABLISHING AND PROVIDING FOR ZONING REGULATIONS; CREATING USE DISTRICTS IN ACCORDANCE WITH A COMPREHENSIVE PLAN...”

and passed and approved November 20, 1990, as amended, is hereby further amended so as to rezone the land depicted in Exhibit A – Boundary and Legal Description from its classification PD-207, PD-217, PD-236A, PD-236B, and Light Industrial (LI) Districts to a Planned Development District for Mixed Uses with a base zoning of Office District.

#### **SECTION 2. Purpose and Intent**

The intent of this Planned Development District is to encourage and facilitate the development of this district as a regional destination for entertainment, cultural, and recreational attractions.

### **SECTION 3. Entertainment Planned Development District**

All boundaries, zoning, development standards, land uses, and other conditions of this Planned Development District shall conform to all requirements contained in Exhibit A – Boundary and Legal Description, Exhibit B – Entertainment Planned Development, and Exhibit C – Concept Area Plan.

### **SECTION 4. Variances and Exceptions**

Variances or exceptions to the requirements of this Ordinance shall require approval by the City Council upon recommendation of the Planning and Zoning Commission.

### **SECTION 5.**

It is further provided, that in case a section, clause, sentence, or part of this Ordinance shall be deemed or adjudged by a Court of competent jurisdiction to be invalid, then such invalidity shall not affect, impair, or invalidate the remainder of this Ordinance.

### **SECTION 6.**

All ordinances or parts of ordinances not consistent or conflicting with the provisions of this Ordinance are hereby repealed. Provided that such repeal shall be only to the extent of such inconsistency and in all other respects this Ordinance shall be cumulative of other ordinances regulating and governing the subject matter covered in this Ordinance.

### **SECTION 7.**

The terms and provisions of this Ordinance are severable and are governed by Section 1-4 of the Code of Ordinances of the City of Grand Prairie, Texas.

### **SECTION 8.**

This Ordinance shall be in full force and effect from and after its passage, approval and publication.

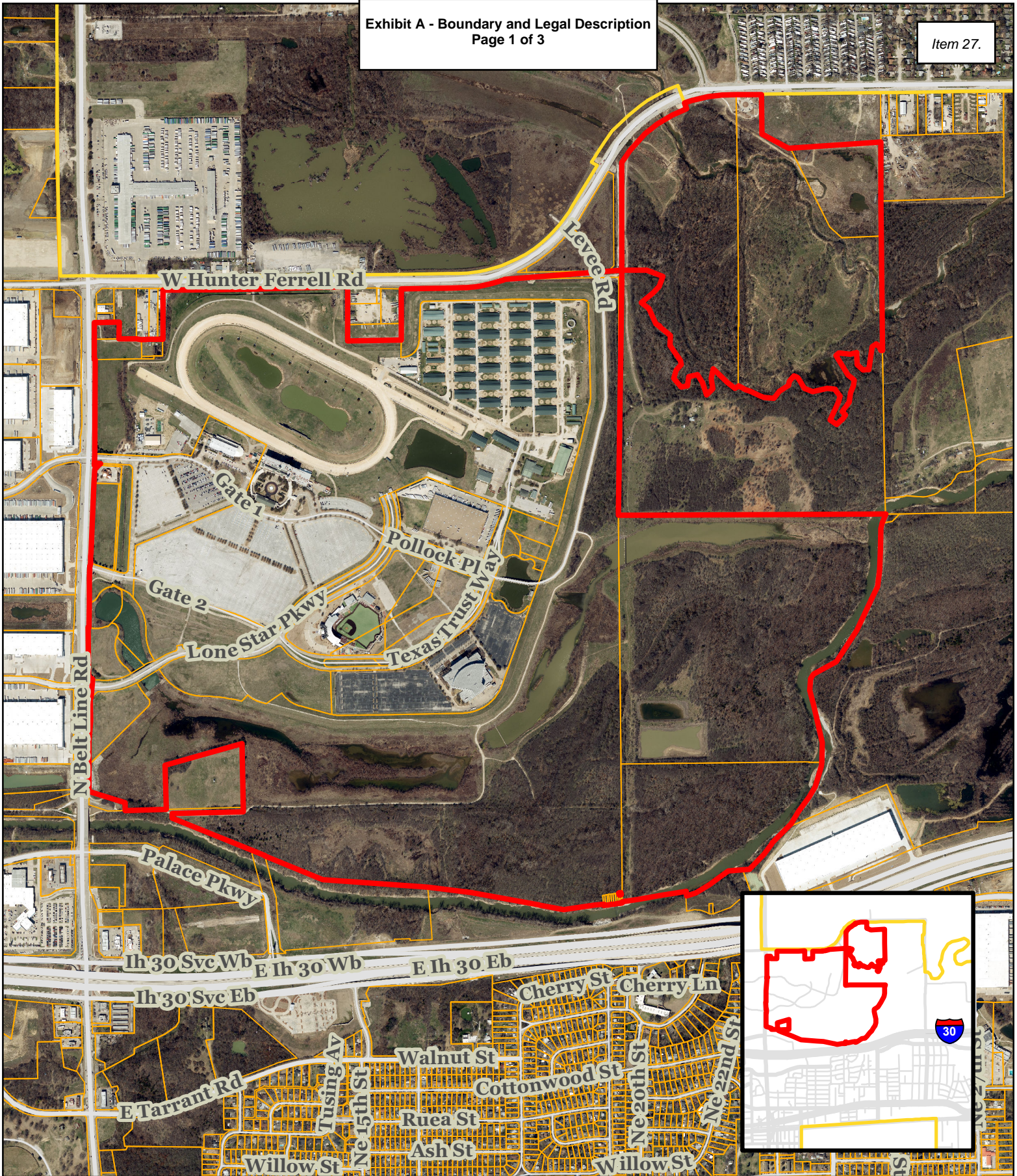
**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, ON THIS THE 7<sup>TH</sup> DAY OF JUNE 2022.**

**Ordinance No. #-2022**

**Zoning Case No. ZON-22-03-0006**

**Planned Development No. XXX**





**CASE LOCATION MAP**  
**ZON-22-03-0006 - Zoning**  
**Change/Concept Plan**  
**Entertainment PD**



**City of Grand Prairie**  
**Development Services**

(972) 237-8255  
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# Entertainment District Planned Development

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## SECTION 1 – General Provisions

### A. Title

1. *Official Title.* This document is known, and may be cited as, the “Entertainment Planned Development”.
2. *Short Title.* References to the “Entertainment PD,” “this PD,” or “PD-XXX” are interpreted as references to this Entertainment Planned District.

### B. Enactment, Effective Date, and Repeal

1. *Enactment.* Adopting ordinance number [insert adopting ordinance number] enacts this PD.
2. *Effective Date.* The effective date of this PD is [insert effective date].
3. *Repeal.* Except for those provisions of the City of Grand Prairie’s UDC explicitly repealed upon the adoption of this PD, if any, this PD is not intended to repeal or replace any existing public or private laws, easements, covenants, or deed restrictions.

### C. Applicability

All development on land located within the boundaries of this PD shall adhere to the rules and regulations set forth in these PD standards. Any zoning, land use requirements, and restrictions not contained within this Planned Development Ordinance shall conform to those requirements for Office (O) District in the Unified Development Code (UDC) and Appendix F, as amended.

### D. Conflicting Provisions

1. *Public Restrictions.* The following provisions apply to laws adopted by a federal, state, or local legislative body:
  - a. Where this PD conflicts with another local, state, or federal law, whichever provision the Planning and Development Director or designee finds imposes the more stringent restrictions controls.
  - b. Where the text of this PD conflicts with tables or illustrative material, whether within this PD, in the UDC, or in Exhibit C, *Concept Plan and Conceptual Images*, the text controls.
  - c. Where a table of this PD conflicts with illustrative material, whether within this PD, in the UDC, or in Exhibit C, *Concept Plan and Conceptual Images*, the table controls.
2. *Private Restrictions.* The City does not interpret or enforce private restrictions, including, but not limited to, deed restrictions, covenants, or easements, unless it is a party to them. If the City is a party to private restrictions, and such restrictions conflict with this PD, then the more stringent restrictions control.

**E. Severability**

1. *Generally.* If a court of competent jurisdiction holds any provision of this PD to be illegal or invalid, the remainder of this PD shall remain in full force without being affected by the judgment.
2. *As-Applied.* If a court of competent jurisdiction holds any application of a provision of this PD to a particular structure, land, or water to be illegal or invalid "as-applied", such judgment shall not be applicable to any other structure, land, or water not specifically included in the judgment.

**F. References to External Documents.** A reference to external documents such as the Unified Development Code (UDC) or the City's Code of Ordinances shall be interpreted to be a reference to the most recent version of that document, as amended, unless stated otherwise.

**G. References to Director.** A reference to the Planning and Development Director shall be interpreted to be a reference to the Director or to his or her duly authorized representatives.

**H. Concept Plan Required.**

1. *Generally.* A Concept Plan complying with Article 17 of the UDC, shall be submitted for all development of sites that meet the applicability standards of Section 17.2.2 of the UDC . Consideration of such concept plan is a legislative act.

**I. Site Plan Required.**

1. *Generally.* A Site Plan complying with Article 16, Site Plan Approval of the UDC, shall be submitted for all development of individual sites within this PD.
2. *Phased Developments.* For phased developments, approval of a detailed Site Plan in compliance with Article 16, Site Plan Approval of the UDC, shall be submitted with the final plat for each phase to ensure compliance with the standards of this PD.
3. *Non-Discretionary Approval.* If the Planning and Development Director finds the Site Plan complies with the standards and requirements of this PD, the site plan may be placed on the consent agenda of the Planning and Zoning Commission and the City Council.

## **SECTION 2 – District Establishment**

**A. Purpose**

The purpose the Entertainment PD is to create standards and conditions for the development and operation of entertainment and commercial establishments, corporate offices, and other primary and accessory uses which may accompany them while protecting the public health, safety, and general welfare, and minimizing the secondary negative effects of such uses by ensuring they are compatible with existing and anticipated land uses. Priority is placed on optimizing the physical characteristics of the built environment for increased walkability and the creation of a vibrant area for amusement and business activities.

**B. Boundaries**

1. *Entire PD.* The boundaries of this PD are reflected on Exhibit A, *District Boundaries* , and Exhibit B, *Legal Description*.
2. *Area Boundaries.* Exhibit C, *Concept Plan and Conceptual Images*, shows three different development areas on the Concept Plan. These areas, and their associated colors are:
  - a. Commercial Corridor, Red;
  - b. Entertainment/Retail and Office, Yellow; and
  - c. Perimeter, Green.

**C. Concept Plan**

A Conceptual Area Plan has been included as Exhibit C, *Concept Plan and Conceptual Images*, of this PD to delineate a potential development for the subject property. The Plan is conceptual in nature and intended to be illustrative of the development areas in this PD. The applicant shall submit Concept and Detailed Site Plans as required in this PD, in subsequent applications as parcels are developed. Consideration of subsequent concept plans is a legislative act.

## SECTION 3 – Base Zoning District and Land Uses

**A. Base Zoning Districts**

1. *Repeal of Existing PDs.* Upon adoption of this PD, the former zoning district designations within the boundaries of this PD shall be repealed and replaced with this PD-XXX, specifically, part of PD-217, and all of PD-207 and PD-236A. It is specifically provided that PD-217 shall remain in full force and effect for all areas subject to that PD which are not included in the boundaries of this PD-XXX.
2. *Base District.* The Office (O) zoning district shall be the base district for this PD. All standards related to the Office (O) zoning district shall apply to the property that is subject to this PD unless this PD indicates otherwise.

**B. Land Uses**

1. *Permitted Uses.* Table 3-1, *Permitted Uses*, denotes the uses, as defined by the UDC, that are permitted within this PD. Refer to Exhibit C, *Concept Plan and Conceptual Images*, for areas delineated as Corridor Commercial, Entertainment / Retail & Office, and Perimeter.

Table 3-1 Permitted Uses					
X = Use Permitted		Blank = Use Not Permitted		S=Specific Use Permit	
Use <sup>1</sup>	Corridor Commercial Area (Red Boundaries)	Entertainment / Retail & Office Area (Yellow Boundaries)	Perimeter Area (Green Boundaries)		



All uses allowed in the Office (O) zoning district except those prohibited in Section 3.B.2. of this PD	X	X	X
<b>Residential Uses</b>			
SF-Detached			X
SF-Zero Lot Line			X
SF-Townhouse		S	S
Mixed Retail & Residential (Mixed Use)		S	S
MF-Apartments			S
<b>Entertainment Uses</b>			
Amusement Services		X	X
Amusement Services (Outdoors)		S	S
Amusement Services (Arcade)		X	X
Artist Studio		X	X
Billiard Parlor		X	
Bowling Center		X	
Casino <sup>3</sup>		S	
Dinner Theater		X	
Golf Course		X	
Health Club		X	
Horse Racing/Training		X	
Kayak or Canoe Dock/Launch			S
Marina			S
Member Sports		X	
Motion Picture (Indoor)		X	
Museum		X	
Multi-Purpose Special Event Center		X	S
Performing Arts including Theater		X	S
Rent Horses		X	X
Stadium		X	S
Smoking Lounge (Cigar Only)	S	S	
<b>Use<sup>1</sup></b>	<b>Corridor Commercial Area (Red Boundaries)</b>	<b>Entertainment / Retail &amp; Office Area (Yellow Boundaries)</b>	<b>Perimeter Area (Green Boundaries)</b>
X = Use Permitted   Blank = Use Not Permitted   S=Specific Use Permit			
<b>Retail &amp; Commercial Uses</b>			

(Alcohol) Packaged Beer & Wine Sales for Off Premise (See NAICS Code 445310 definition, UDC 4.8.6)	X	X	X
Art Dealer		X	X
Bakery (Retail)		X	X
(Alcohol) Brewpub	S	S	S
Convenience Store without gas		S	
Drive Thru Restaurant	S <i>(limited to two within the corridor)</i>	S	
Drug Store		S	S
Flea Market (Outdoors)	S	S	S
Florist		S	X
Grocery Store	S	X	X
Hardware Store	X	X	X
Laundry / Dry Cleaner (drop off /pick-up)		S	S
Lodging Facilities (Hotel)		X	X
Private Club (with Alcohol)		S	
Winery	X	X	S
<b>TABLE NOTES:</b>			
<sup>1</sup> Uses as defined by the UDC and shown in Article 4: Permissible Uses of the UDC.			
<sup>2</sup> Unless otherwise noted in this PD, noted uses shall adhere to the performance standards set forth in the UDC.			
<sup>3</sup> This use is authorized only to the extent permitted by state law.			

1. *Prohibited Uses.* In addition to the uses that are prohibited in the Office (O) zoning district, the following uses, as defined by the UDC, are prohibited within this PD, except for in the Perimeter Area, where such uses are permitted on a case-by-case basis subject to site-specific SUP Site Plan review:
  - a. General Education, Health, and Institutional Uses, listed in the use table in Section 18, *Use Charts*, of the UDC;
  - b. Bank Drive-Thru;
  - c. Adult Day Health Care Center
  - d. Adult Day Care Center
  - e. Apparel Manufacturing
  - f. Auto Sales and related uses (See uses included under “Auto Sales” subheading in the Use Chart of Article 4 of the UDC.)
  - g. Auto Repair and related uses (See uses included under “Auto Repair” subheading in the Use Chart of Article 4 of the UDC.)

- h. Auto Parking (Primary Use)
  - i. Community Food Services
  - j. Convenience Store with Gas;
  - k. Drive Through / In Retail Sales (see Article 4, Section 4.8.5 of the UDC for description);
  - l. Exterminator (Storage);
  - m. Emergency Care Clinic
  - n. Farm Products Food (Wholesale);
  - o. Firewood (Wholesale);
  - p. Heavy Machine Sales (Outside)
  - q. Hospice
  - r. Large Retail (With Gas Sales);
  - s. Library
  - t. Livestock (Wholesale)
  - u. Lumber Sales (Wholesale)
  - v. Medical and Dental Offices
  - w. Mini-Storage;
  - x. Mobile Home Dealer;
  - y. Outdoor Storage;
  - z. Paper Products (Wholesale);
  - aa. Parole / Probation Office
  - bb. Portable Buildings;
  - cc. Portable (Chemical Toilet);
  - dd. Radio Station with Tower;
  - ee. Residential Waste Recycling Receptacle; and
  - ff. RV Park
  - gg. Tool Rental (Outdoors).
  - hh. TV Station with Tower;
  - ii. Sewage Station;
  - jj. Vocational School
  - kk. Veterinary Clinic
  - ll. Veterinarian w/ Indoor Kennel
  - mm. Wind Turbines (Ground Mounted)
2. *Specific Use Permit.* Except for Lodging Facilities, which are permitted by right in this PD to the extent they are in compliance with the requirements of Article 4, Section 15 of the UDC, uses that require a Specific Use Permit in the Office (O) district require a Specific Use Permit in this PD.
3. *Accessory Uses.* The following accessory uses are permitted, along with other accessory uses, as the need arises, on a site-specific basis.
- a. ATM;

- b. Refuse / Recycling Bin, Drop-Off;
  - c. Outdoor Display of Merchandise; and
4. *Temporary Uses.* Uses that are temporary or special events are permitted within this PD when in compliance with all standards and procedures of Chapter 7.5, *Special Events of the City's Code of Ordinances*, and other provisions required by the Office of Emergency Management.

## SECTION 4 – Dimensional Requirements

### A. Density and Dimensional Requirements.

1. Unless otherwise proposed by the applicant, all developments in this PD shall be in accordance with Table 4-1, *Dimensional Requirements*, below. Refer to Exhibit B, *Concept Plan and Conceptual Images*, for the boundaries of the three areas of the PD shown in the table. The applicant may propose site-specific dimensional requirements that differ from the requirements of Table 4-1 as part of the Site Plan for a given property.

<b>Table 4-1 Dimensional Requirements<sup>7</sup></b>			
	<b>Corridor Commercial Area (Red Boundaries)<sup>4</sup></b>	<b>Entertainment / Retail &amp; Office Area (Yellow Boundaries)<sup>4</sup></b>	<b>Perimeter Area (Green Boundaries)<sup>4</sup></b>
<b>Lot and Intensity<sup>7</sup></b>			
Minimum Lot Area	5,000 sq. ft.	5,000 sq. ft.	5,000 sq. ft.
Minimum Lot Width	50 ft.	50 ft.	50 ft.
Maximum Floor Area Ratio <sup>3</sup>	N/A	N/A	Site-Specific
<b>Building Placement<sup>7</sup></b>			
Min./Max. Street Setback	20 ft. / N/A	0 ft. / 10 ft.	Site-Specific
Min. Side Setback	20 ft.	10 ft.	Site-Specific
Min. Rear Setback	N/A	10 ft.	Site-Specific
<b>Frontage and Height<sup>7</sup></b>			
Min. Building Frontage <sup>6</sup>	N/A	75%	Site-Specific
Min. / Max. Building Height	0 ft. / 150 ft.	0 ft. / 150 ft.	Site-Specific
<b>Minimum Landscaping Area<sup>1</sup></b>	Site-Specific	Site-Specific	Site-Specific
<b>Minimum Common Open Space<sup>2</sup></b>	N/A	Site-Specific	Site-Specific

**TABLE NOTES:**

<sup>1</sup> See Section 7, *Landscaping*, for landscaping requirements.

<sup>2</sup> See subsection 5.E, *Open Space and Pedestrian Linkages*, for common open space requirements.

<sup>3</sup> Does not apply to parking structures. Floor Area Ratio may be increased with the approval of a site-specific Site Plan by the City Council.

<sup>4</sup> “Site-Specific” in the Perimeter Area column indicates that the specific dimensional requirement is set on a case-by-case basis subject to site-specific Site Plan review for the proposed use. Base UDC standards should be used and/or varied from.

<sup>5</sup> Variations from the noted dimensional requirements may be requested for specific developments during the site plan review process.

<sup>6</sup> See Building Frontage definition for explanation.

<sup>7</sup> Residential development, SF-Detached, SF-Zero Lot Line, SF-Townhouse and MF-Apartments shall adhere to the density and dimensional requirements noted in Article 6 of the UDC.

<sup>8</sup> The residential component of a Mixed Retail & Residential (Mixed Use) development shall adhere to the minimum living area and max density noted in Article 6 of the UDC.

## SECTION 5 – Building Orientation and Design

### A. Guiding Principles.

The guiding principles of the building design standards of this PD are to create a lively entertainment and shopping environment. In the Corridor Commercial Area, buildings are well-designed with the majority of parking to the side and rear. In the Entertainment/Retail and Office Area, there is an active public realm and buildings are close to the street to define the street edge with shading devices and street furniture to encourage pedestrian activity. In the Perimeter Area, buildings are developed in a way that considers challenges of the land such as being located within a floodplain.

### B. Corridor Commercial.

In lieu of the standards of this Section, the standards of Section 7, *Building Design*, of UDC Appendix F, *Corridor Overlay District Standards*, shall apply to the buildings in the Corridor Commercial Area.

### C. Building Orientation.

The standards related to building orientation and entrances in Section 6, *Site Design & Building Design*, of UDC Appendix F, *Corridor Overlay District Standards*, shall apply to the site and buildings in this PD.

### D. Building Design.

#### 1. Generally.

- a. Except as modified by this Subsection, *Building Design*, the standards related to building design in Section 7, *Building Design*, of UDC Appendix F, *Corridor Overlay District Standards*, shall apply to the site and buildings in this PD.
- b. Building design techniques shall be used in proportion to a building’s overall mass. For example, building articulation is needed as a building’s length increases. A single method is insufficient to achieve a reduced scale and provide visual interest.

#### 2. Building Materials.

- a. *Generally.*
  - i. Building materials should be detailed to convey a sense of authenticity in construction.
  - ii. Where differing materials are used on a single building, the materials shall transition to accentuate building forms, design elements, and edges so as not to appear as a superficial application to a wall plane.
  - iii. The images in Tables 5-1 through 5-3, below, serve to provide examples of the building materials requirements of Appendix F of the UDC.
- b. *Alternative Materials.*
  - i. The applicant may propose other building materials and demonstrate by specifications that the material has comparable durability, impact resistance, and aesthetic quality as the approved materials. These materials may also include those that are:
    - A. *LEED Standard.* Designed for bronze (or higher) certification in Leadership in Energy and Environmental Design ("LEED"), and the materials qualify for LEED points under both the "energy and atmosphere criteria" and the "materials and resources criteria" of the LEED checklists; or
    - B. *Energy Star Standard.* EPA certified and designed to earn ENERGY STAR, and the materials substantially improve the energy efficiency of the building compared to approved materials.
  - ii. Achievement of, at minimum, LEED Certification (a performance score of 40 to 49 points) shall result in the following permitted modifications to the requirements of this PD:
    - A. The Maximum building height may increase two additional stories beyond what is allowed in Table 4-1, *Dimensional Requirements*;
    - B. The minimum landscape area or the minimum common open space area required in Table 4-1, *Dimensional Requirements*, may be reduced to 10 percent; and

Table 5-1 Principal Masonry Building Materials				
Masonry Materials		Photo Examples		
A	Modular Brick	A	B	C
B	Modular Stone			




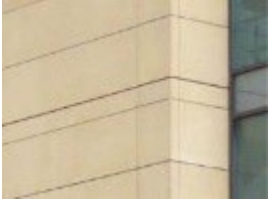




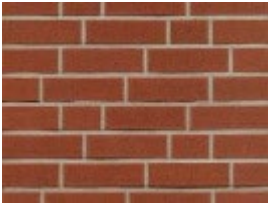



C	Architectural cast or precast concrete (detailed)			
D	Architectural reinforced concrete (glass fiber, fiber)	<p style="text-align: center;">D</p> 	<p style="text-align: center;">E</p> 	<p style="text-align: center;">F</p> 
E	Cement Board Siding			
F	Terra cotta			
G	Cast stone	<p style="text-align: center;">G</p> 	<p style="text-align: center;">H</p> 	<p style="text-align: center;">I</p> 
H	Architectural concrete masonry unit			
I	Prefabricated brick			

Table 5-2 Accent Building Materials				
Metal Materials		Photo Examples		
A	Metal panels			
B	Metal accents			
C	Composite wall panel			
Siding		Photo Example		
D	Wood lap (natural or cement)			
E	Wood (natural or cement)			
F	Cement board siding			
Stucco		Photo Example		
G	Authentic (detailed)			
H	Synthetic (scored)			
I	Synthetic (not scored)			
Glass		Photo Example		
J	Curtain wall			
K	Glass accent			

**Table 5-3  
Permitted Roofing Materials**

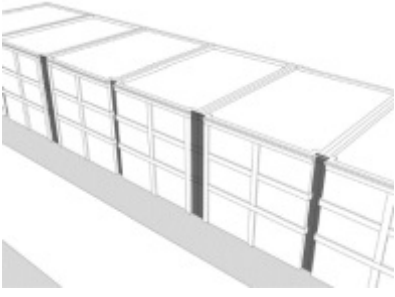
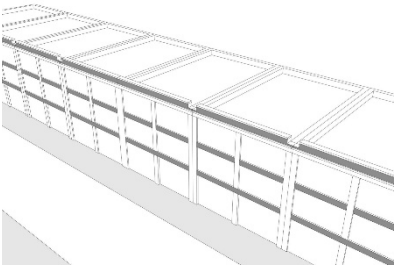
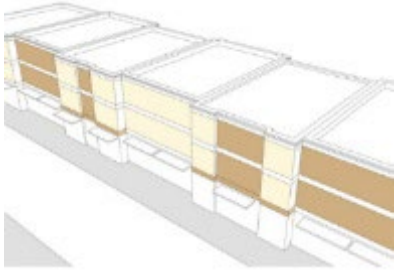
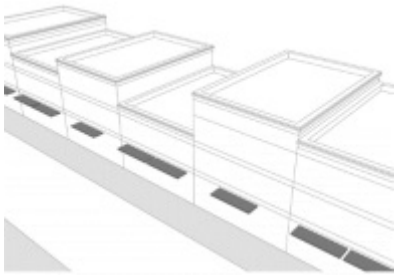


Table 5-3 Permitted Roofing Materials				
Roofing Materials		Photo Examples		
A	Asphalt Shingle	A 	B 	C 
B	Concrete or clay tile			
C	Standing seam tile			
D	Metal shingles	D 	E 	
E	Solar shingles			

3. *Wall Articulation.*

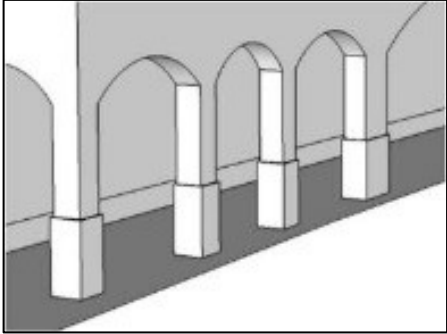
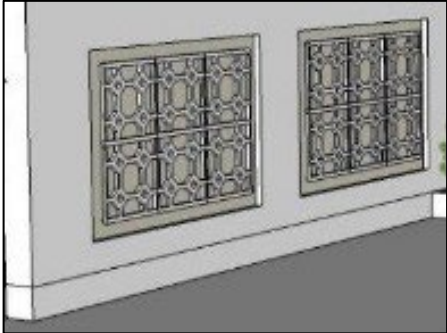

- a. In the Entertainment / Retail and Office Area, In lieu of the requirement in Appendix F of the UDC that facades shall include covered walkways, awnings, canopies, or porticos along at least 25 percent of the length of all four facades, this PD requires that such devices be provided along a minimum of 50 percent of the length of all four faces in the Entertainment / Retail and Office Area. The 25 percent requirement shall apply in all other areas of this PD.
- b. The images in Table 5-4, below, serve to elaborate upon the building articulation requirements of Appendix F of the UDC. Increased wall articulation is needed as a building's length increases.

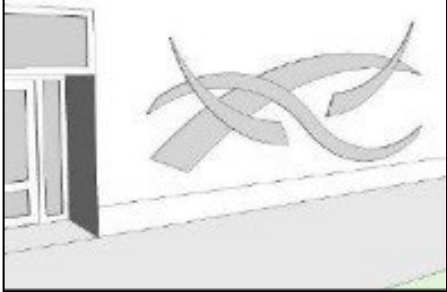

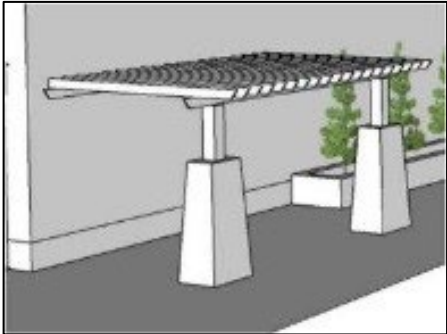
**Table 5-4  
Wall Articulation Features**


Description	Image	Standards
<b>Wall Plane Offsets</b>		
<p>Wall plane offsets are modest changes in wall planes that divide a façade into smaller modules to reduce scale.</p>		<ul style="list-style-type: none"> <li>• Minimum depth of wall offset: 1 foot</li> <li>• Minimum width of offset: 3 feet</li> </ul>
<b>Accent Lines</b>		
<p>Accent lines are vertical elements, such as an attached column, or a horizontal element, such as a cornice or molding that creates rhythm and sense of scale on a façade.</p>		<ul style="list-style-type: none"> <li>• Minimum projection from the primary wall plane: 4 inches</li> <li>• Minimum width: 4 inches</li> </ul>
<b>Material and Color Variations</b>		
<p>Material and color variations help to express a traditional façade dimension in height and width. When applied in units, panels, or modules, materials can help convey a sense of scale.</p>		<ul style="list-style-type: none"> <li>• A change in material or color may only count as an articulation technique when used in combination with another articulation technique.</li> </ul>
<b>Canopies, Marquee Signs, and Awnings</b>		
<p>Canopies, marquee signs, awnings, or other projecting features help define the ground floor of a building and frame the pedestrian environment. They also provide shelter from the elements.</p>		<ul style="list-style-type: none"> <li>• Awnings and canopies shall be arranged to express individual building spaces in order to count as an articulation technique.</li> <li>• The applicant shall provide specifications for a marquee sign together with the Site Plan for a given property.</li> </ul>

4. *Blank Walls.*

In some cases, a building may have windowless areas in response to internal functions. However, if a blank wall is larger than 15 feet tall by 25 feet wide, it shall include one or more of the elements listed in Table 5-5, *Blank Walls Options*.

<b>Table 5-5 Blank Wall Options</b>	
Element Type	Illustrated Example
Arcades	
Architectural Details or Screening	
Display Cases or Boxes	

<b>Table 5-5 Blank Wall Options</b>	
<b>Element Type</b>	<b>Illustrated Example</b>
Murals	
Outdoor Dining Areas (Subsection F.5)	
Pergolas or Other Landscaping Structures	

<b>Table 5-5 Blank Wall Options</b>	
<b>Element Type</b>	<b>Illustrated Example</b>
Vertical Trellis (can be done in combination with a planter box)	

**E. Open Space and Pedestrian Linkages.**

1. *Applicability.* The following open space and pedestrian linkage standards apply only in the Entertainment / Retail and Office Area and are encouraged to be incorporated into the design of developments in the Corridor Commercial and Perimeter Areas.
2. *Open Space.*
  - a. Development on sites greater than five acres in area shall provide usable open space.
  - b. Usable open spaces shall include at least two of the following active amenities:
    - i. Active water feature such as a fountain, waterfall, or children’s water-spray area;
    - ii. Furnished play area;
    - iii. Sculpture or artwork;
    - iv. Furnished outdoor game area; or
    - v. A comparable amenity proposed by the developer.
  - c. Useable open spaces shall include at least three of the following passive amenities:
    - i. Seasonal plantings in decorative planters;
    - ii. Textured paving;
    - iii. Living wall;
    - iv. Mural;
    - v. Decorative lighting;
    - vi. USB charging station;
    - vii. Electrical hook-up to allow programming; or
    - viii. A comparable amenity proposed by the developer
  - d. Any usable open space shall include lighting meet the standards of Section 7, *Outdoor Lighting*, to create a safe nighttime environment.
3. *Pedestrian Access.*





**F. Outdoor Dining.**

When provided, either as required in Subsection D.4, Blank Walls, above, or at the option of the applicant, areas for outdoor dining shall comply with the following standards:

1. *Barrier.* Where abutting a public right-of-way, outdoor dining areas shall use one of the following methods to separate the dining area from the ROW:
  - a. Fencing that is three feet in height and compatible with the quality and appearance of the associated building; or
  - b. Implementing large planters between the street and outdoor dining area. With the City's permission, these planters may be permitted in the ROW.
2. *Pedestrian Pathway.* An unobstructed pedestrian pathway of at least 4 feet shall be provided. If there is more than a four-foot-wide pathway provided, outdoor dining may be located outside of the required four feet.
3. *Waste Receptacles.* Outdoor waste receptacles for customers shall be provided, conveniently located, regularly serviced, and maintained.
4. *Maintenance.* Outdoor dining and seating areas shall always remain clear of litter.

**G. Mechanical Equipment and Utilities.**

1. *Mechanical Equipment.* Rooftop mechanical or other equipment more than three feet in height shall be screened from public view utilizing screening techniques that either blend with the building or complement its design. Screening materials shall be architecturally compatible with materials used elsewhere on the structure.
2. *Utilities.* With the exception of fire hydrants, utilities shall run underground and above-ground projections of utilities shall be placed in or along rights-of-way of streets of lower street hierarchy, wherever practicable.

## **SECTION 6 - Parking and Loading**

**A. Guiding Principles**

The guiding principles of the parking and loading standards of this PD are to create parking areas that provide a sufficient number of spaces and are located and designed to encourage pedestrian movement throughout this PD. In the Corridor Commercial areas the majority of parking is located to the side and rear. In the Entertainment / Retail and Office area, the majority of the parking is located within parking structures.

**B. General Parking Requirements**

1. *Pedestrian Walkway.* A pedestrian walkway of at least six feet wide shall be installed to connect public sidewalks to building entrances, parking structures or areas, open spaces, and any other destinations warranting pedestrian access.
2. *Parking Space Dimensions.* Individual surface parking spaces and drive aisles shall comply with Appendix D, *Parking Layout and Design Standards*, of the UDC.
3. *Accessible Parking Spaces.* Parking spaces that are accessible to disabled persons (“accessible parking spaces”) shall be provided as required by federal law and regulations and in compliance with Appendix D, *Parking Layout and Design Standards*, of the UDC.
4. *Parking Area Lighting.* All parking area lighting shall comply with Article 10, Section 15, *Glare and Lighting Standards*, of the UDC

**C. Required Parking**

1. *Commercial, Entertainment / Retail and Office Area and Perimeter Area.*
  - a. *Generally.* Generally, uses within the Commercial, Entertainment / Retail and Office and Perimeter Areas of this PD will have nonlinear or widely varying traffic and parking and loading demand characteristics.
  - b. *Parking Study Required.* A parking study meeting the requirements outlined in subsection C.1.c, below, shall be submitted to establish the minimum and maximum parking requirements for uses within the Entertainment / Retail and Office and Perimeter Areas of this PD.
  - c. *Requirements of Parking Study.*





- iii. *Restaurants*. One space shall be required per 150 square feet of gross floor area.
- b. *Maximum Parking*. The maximum allowable parking spaces for a development shall not exceed 115 percent of the number of required minimum parking spaces.

**D. Parking Layout and Design**

- 1. *Commercial Corridor Area*.
  - a. One row of parking may be located in front of structure. All other parking areas shall be located to the side or rear of structure.
  - b. Parking areas may include surface parking lots or parking structures.
- 2. *Entertainment / Retail and Office Area*.
  - a. *Location*.
    - i. All surface parking lot areas shall be located behind the structure.
    - ii. Parking is encouraged to be located in shared parking structures.
  - b. *Parking Area Screening*. Where an allowed parking lot adjoins a street, screening shall occur by providing:
    - i. A minimum five-foot wide buffer with a solid row of hedges across 100 percent of the linear dimension parallel, or roughly parallel, to street rights-of-way;
    - ii. A masonry wall that is a minimum of 30 inches and a maximum of four feet in height; or
    - iii. A decorative fence and shrubbery across 50 percent of the linear dimension parallel, or roughly parallel, to street rights-of-way.

**E. Structured Parking**

- 1. *Configuration of Structured Parking Spaces*. Individual parking spaces for structured parking facilities shall comply with Appendix D, *Parking Layout and Design Standards, of the UDC*.
- 2. *General Standards*. When provided, all parking structures shall meet the following standards:
  - a. *Height*. The height of the parking structure shall not exceed the height of the structure it serves.
  - b. *Rooftop Parking*. Rooftop open-air parking shall be screened with a parapet of at least four feet in height.
  - c. *Safety Mirrors*. Pedestrian safety devices such as convex mirrors or other warning devices are required where it would be a significant risk to public health or safety without the installation of those devices.
  - d. *Gates and Booths*. Any vehicle exit barrier, including but not limited to a gate or payment booth, shall be located at least 20 feet inside the exterior wall of the parking structure.
  - e. *Lighting*. Parking structures shall contain lighting sufficient for security purposes.

3. *Parking Structure Types and Standards.* Table 6-1, *Parking Structure Types and Standards* details the different types of parking structures and their corresponding standards.




<b>Table 6-1 Parking Structure Types and Standards</b>		
Parking Structure Type Description	Image	Standards
<p>Stand-alone parking structures are freestanding structures located in the center of a larger block.</p>		<ul style="list-style-type: none"> <li>Stand-alone structures shall be separated from adjacent buildings by a minimum of 20 feet to provide sufficient light and privacy for adjacent structures. This separation may accommodate an alley and/or rear yards.</li> <li>Stand-alone parking structures shall have foundation plantings as required in Section 7, <i>Landscaping</i>.</li> <li>Stand-alone parking structures shall comply with standards for exterior design and vehicle entry/exit design as set forth in Subsections E.5, <i>Exterior Design</i>, and E.6, <i>Vehicle Entry/Exit Design</i>.</li> <li>Only permitted in the Entertainment/Retail and Office and Commercial Corridor Areas</li> </ul>
<p>Activated parking structures consist of retail uses at the base that are oriented solely toward the street.</p>		<ul style="list-style-type: none"> <li>Liner buildings associated with activated structures may be directly attached or detached by a minimal fire separation distance. Liner buildings shall comply with standards set forth in Subsection E.4, <i>Liner Buildings for Parking Structures</i>.</li> <li>Permitted in the Entertainment / Retail and Office, and Commercial Corridor Areas.</li> </ul>

Table 6-1 Parking Structure Types and Standards		
Parking Structure Type Description	Image	Standards
<p>Integrated parking structures are located within an occupied building or surrounded by liner buildings</p>		<ul style="list-style-type: none"> <li>• Integrated structures may be fully or partially integrated with the surrounding building. Liner buildings shall comply with standards set forth in Subsection E.4, <i>Liner Buildings for Parking Structures</i>.</li> <li>• Permitted in the Entertainment / Retail and Office, and Commercial Corridor Areas.</li> </ul>

4. *Liner Buildings for Parking Structures.* Liner buildings that are part of activated or integrated parking structures shall comply with the following standards:
  - a. Liner buildings shall be at least two stories in height with no less than 15 feet in depth.
  - b. Liner buildings may be detached from or attached to the principal building
  - c. Liner buildings may be used for any purpose allowed on the lot on which they are located except for parking.
5. *Exterior Design.* Facades on the ground floor of stand-alone parking structures shall meet one of the following standards:
  - a. Be constructed of materials of similar quality and shall be compatible in appearance with adjacent buildings; or
  - b. Be articulated using three or more of the following architectural features:
    - i. Windows or window-shaped openings with decorative mesh or similar features as approved by the Planning and Development Director;
    - ii. Masonry columns;
    - iii. Decorative wall insets or projections;
    - iv. Awnings;
    - v. Changes in color or texture of materials;
    - vi. Public art;
    - vii. Integrated landscape planters; or
    - viii. Other similar features approved by the Planning and Development Director.
6. *Vehicle Entry/Exit Design.*
  - a. Vehicle entries and exits of stand-alone parking structures shall be oriented away from the primary street frontage and shall minimize conflicts with pedestrian circulation.
  - b. Street front openings in stand-alone parking structures shall not exceed 55 percent of facade area.

**F. Off-Street Loading**

1. *Dimensions and Maneuvering Space.* All loading areas shall comply with Appendix E, *Parking and Loading Areas*, of the UDC.
2. *Location.* All loading areas are required to be located on the same lot as the building or lot served by the loading area. Semi-trailer loading spaces and loading docks shall be located behind buildings and screened from view from adjacent properties and public rights-of-way.
3. *Fire Exit or Emergency Access.* Off-street loading facilities shall be designed so as not to interfere with any fire exits or emergency access facilities to either a building or site.

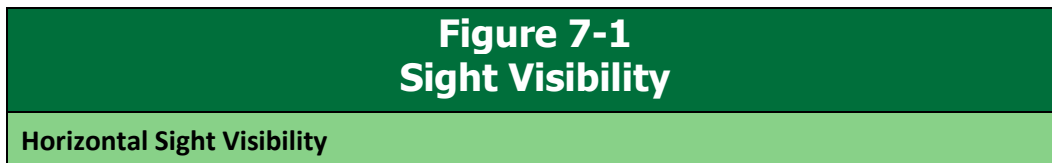
## **SECTION 7 – Landscaping**

**A. Applicability.**

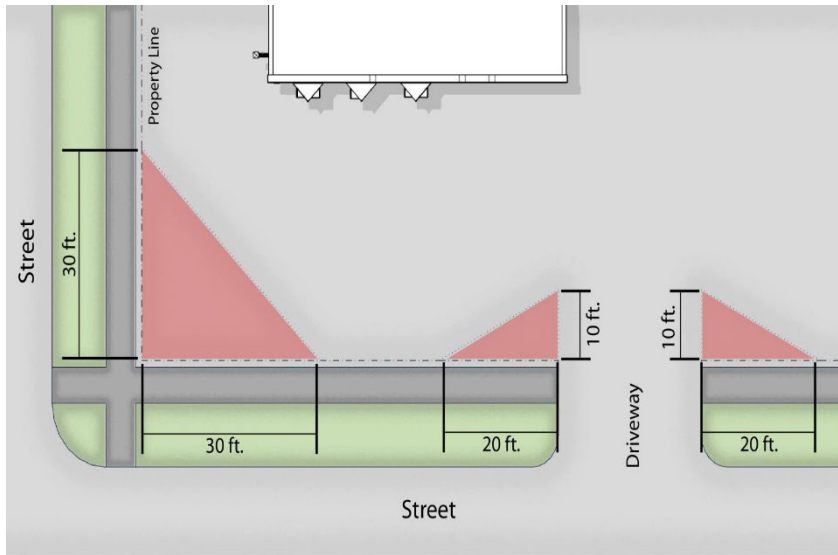
The following landscaping standards apply in the Entertainment / Retail and Office and Commercial Corridor Areas.

**B. General Standards**

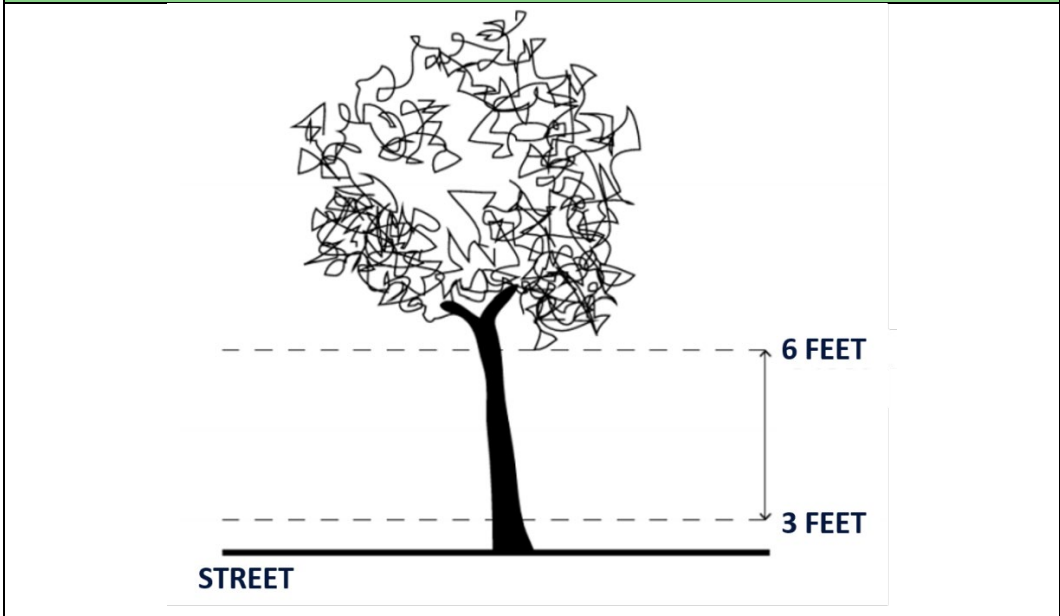
1. *Sight Visibility.* A sight visibility triangle is formed by a diagonal line connecting two points located on intersecting street right-of-way lines, or a right-of-way line, and the curb or edge of a driveway. Trees and shrubs shall not be installed in locations where there is a substantial likelihood that the mature form of the tree would have to be materially compromised to maintain sight visibility in conformance with Figure 7-1, *Sight Visibility*.



### Figure 7-1 Sight Visibility



### Vertical Sight Visibility



- 2. *Timing of Installation.* Required trees, shrubs, and sod shall be installed on each lot prior to the issuance of a certificate of occupancy for that lot.

3. *Biodiversity*. Biodiversity of the genus and species of trees and shrubs is required in order to prevent monocultures which could result in large-scale losses in the event of disease or blight. Recommended varieties are listed as Exhibit 5 of Article 8, *Landscaping and Screening* in the UDC.
4. *Healthy Nursery Stock*. Trees and shrubs planted pursuant to this Section shall be good, healthy nursery stock.
5. *Minimum Size of Plants at Installation*. Plant material that is installed to comply with the requirements of this Section shall be of the sizes set out as follows:

<b>Table 7-1 Minimum Planting Size at Installation</b>	
Type of Plant Material	Minimum Size at Installation
Tree	3" caliper
Evergreen Tree	8' in height
Shrub	5 gal. container

**C. Minimum Plantings.**

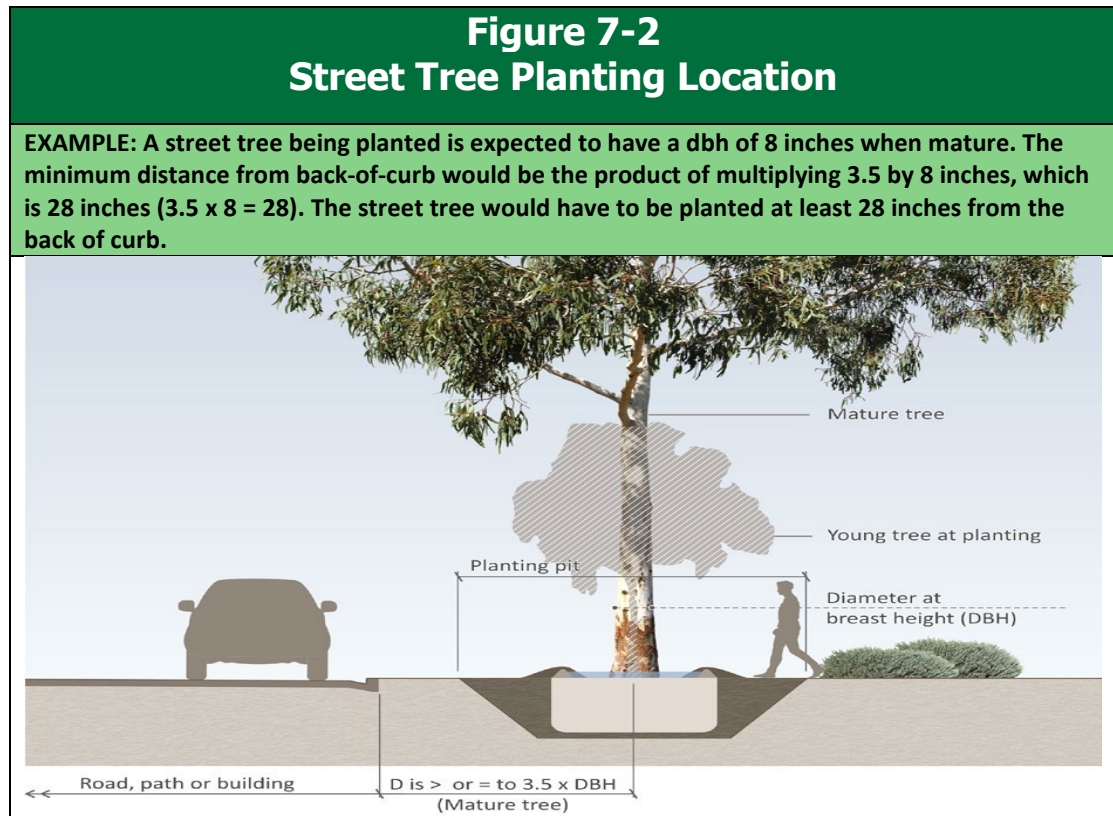
The required number of plantings are outlined in Table 7-2, *Minimum Landscaping Planting Requirements*.

<b>Table 7-2 Minimum Landscape Planting Requirements</b>					
Area within PD	Street Trees <sup>1</sup>	Pedestrian Walkway Trees <sup>1</sup>	Foundation Plantings <sup>2</sup>	Parking Lot Plantings <sup>3</sup>	Landscaping Area Plantings <sup>4</sup>
All Areas	1 per 40 linear feet of street frontage	1 tree per 20 linear feet	50% of linear footage of facade	1 tree per 20 parking spaces in a surface lot	1 tree per 500 square feet of site landscaping area 1 shrub for every 50 square feet of site landscaping area
<b>TABLE NOTES:</b>					
<sup>1</sup> See subsection 7.D for standards for street trees and pedestrian walkway trees.					
<sup>2</sup> See subsection 7.E for standards for foundation plantings.					
<sup>3</sup> See subsection 7.F for standards for parking lot plantings.					
<sup>4</sup> See subsection 7.G for standards for landscaping area plantings.					

D. Street Trees and Pedestrian Walkway Trees.

1. Location.

- a. Street trees are those trees that are planted at regular intervals in the street right-of-way. To avoid damage from the roots, street trees shall be planted at a distance from the back of the curb that is at least equal to the result of multiplying three and one half by the expected Diameter at Breast Height "DBH" of the tree when matured ( $D = 3.5 \times \text{DBH}$ ), as illustrated in Figure 7-2, *Street Tree Planting Location*.



- b. Pedestrian walkway trees are those trees that are planted at regular intervals along pedestrian walkways in, for example, parking lots or in pedestrian-oriented areas of larger developments.
2. *Species*. To maintain a consistent appearance along individual street and walkway segments, the species of trees that are planted shall be the same on both sides of the street. The trees planted in a landscaped median may be different in species from those which are planted adjacent to the sidewalk.



### E. Foundation Planting

1. *Location.* Applicable buildings shall have foundation planting areas adjacent to the base of the building, with a minimum percentage of linear feet along the street, side, and rear as set out in Table 7-2, Minimum Landscaping Planting Requirements. Where planting areas are required, they may be crossed with walkways to provide access to the building.
2. *Width.* Required foundation plantings shall be a minimum of six feet wide on the façade of the building adjacent to the street and side setbacks and a minimum of four feet wide on the façade of the building adjacent to the rear setback.
3. *Rear Setback Exception.* Foundation plantings are not required along rear facades that do not have adjacent drive aisles for personal vehicles or that are not visible to the general public.
4. *Groundcover and Public Art.* Remaining portions of the planting area shall be planted with groundcover or consist of xeriscape groundcover, rocks, decorative pavers, or public art.

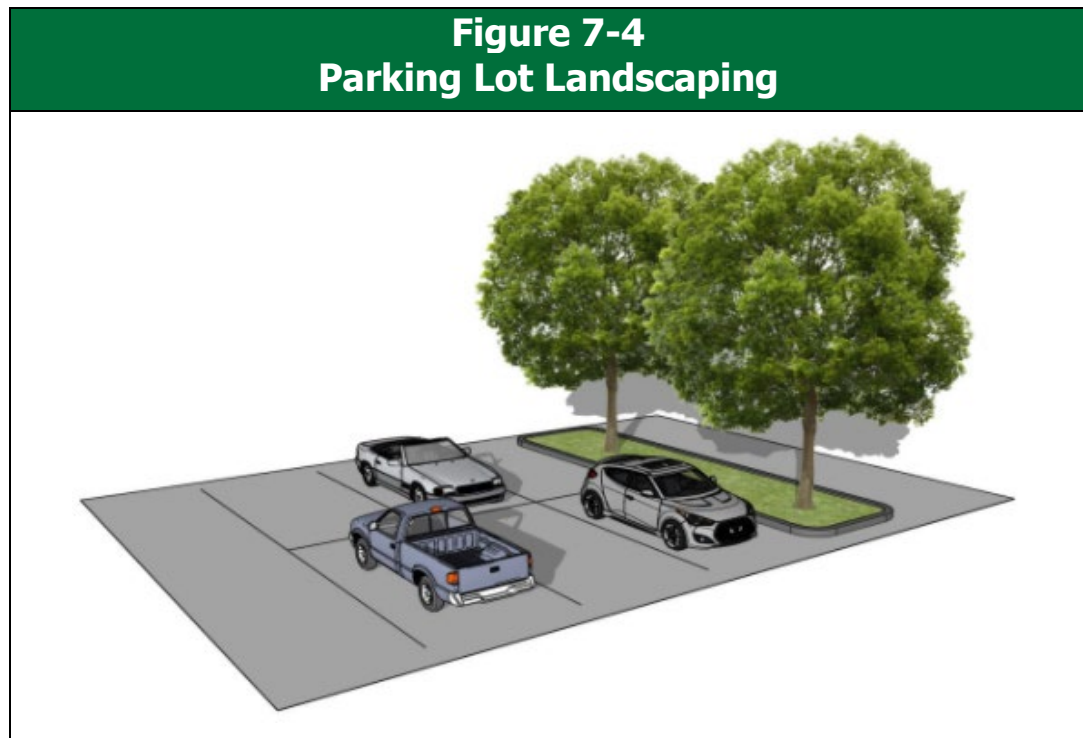
**Figure 7-3  
Foundation Planting Example**



### F. Parking Lot Plantings

1. *Planting Islands.*
  - a. One planting island, as depicted in Figure 7-4, *Parking Lot Landscaping*, of at least 324 square feet in area shall be provided for each 20 spaces in the parking lot. No planting island shall be less than 18 feet in any dimension, measured from the outside of the curb to the outside of the opposite curb.

- b. Each island shall have a minimum of two canopy trees, three ornamental trees, or 30 shrubs.
  - c. Parking lot landscaping shall be evenly distributed within interior parking lot islands or within islands in entrance and circulation drives. Such landscaping may also be located in the perimeter or corners of the lot, as provided in subsection 2, *Small Parking Lots*, below. Trees shall be given adequate room to for healthy growth and stability.
2. *Small Parking Lots*. For interior parking lots with fewer than 15 spaces, the island(s) may be the lot's corners. For parking lots requiring less than six canopy trees, the landscaping may be on the perimeter of the parking lot.



**G. Landscaping Area Plantings**

All areas not designated as street trees, pedestrian walkway trees, foundation plantings, parking lot plantings, or utilized for pedestrian and vehicular access to the building (for example, sidewalks, parking spaces, loading spaces, or service areas) shall be landscaped with groundcover or consist of xeriscape groundcover, rocks, or decorative pavers and designated as site landscaping area in order to meet the minimum required landscaping area per lot as stated in Table 4-1, *Dimensional Requirements*.

#### H. Tree Mitigation

The preservation and protection of mature, existing trees located within the PD is encouraged. In order to mitigate effects of removal of protected trees and to receive credit for existing trees, the standards of Article 8, Section 16, Tree Protection Standards, in the UDC shall apply to development within this PD.

## SECTION 8 – Outdoor Lighting

#### A. Guiding Principles.

The guiding principles of the outdoor light standards of this PD are to minimize the glare aspects of excessive outdoor lights while maximizing a property's visual interest and safe nighttime use.

#### B. Exempted Lighting.

The following types of outdoor lighting are exempt from the requirements of this Section:

1. *Emergencies*. Lighting used only under emergency conditions;
2. *Street Lights*. Lighting used for the principal purpose of illuminating streets and sidewalks;
3. *Signs*. Lighting solely used for signs;
4. *Temporary Uses*. Lighting associated with an approved temporary use;
5. *Temporary Lighting*. Temporary lighting associated with a development site;
6. *Monuments and Statues*. Lighting for public monuments and statues;
7. *Water Features*. Underwater lighting in fountains, swimming pools, and other water features;
8. *State and Federal Mandates*. Lighting required pursuant to state and federal laws (e.g., FAA);
9. *Building Code*. Lighting required by the City's adopted building code;
10. *Ornamental Lighting*. Ornamental Lighting with a rated initial luminaire lumen output of 525 lumens or less;
11. *Seasonal Lighting*. Seasonal Lighting, provided the lighting does not create unsafe glare on street rights-of-way and is in compliance with the adopted electrical code; and
12. *Historic or Antique Lighting*. Historic or antique-style pedestrian light fixtures approved by the City.

#### C. Prohibited Lighting

The following types of outdoor lighting are prohibited in the City.

1. *Outdoor Lighting Resembling Emergency Signals*. Outdoor lighting that contains reflectors or glaring, strobe, or rotating lights, beacons, beams or flashing illumination resembling an emergency signal; and

2. *Searchlights, Aerial Lasers, and Beacons.* Searchlights, aerial lasers, or any type of beacon used to attract attention to a property, without prohibiting the use of a searchlight by authorized personnel for emergency purposes.

**D. Outdoor Lighting Standards**

1. *Compliance with UDC.* Lighting within this PD shall comply with Article 10, Section 15, *Glare and Lighting Standards*, of the UDC.
2. *Design Standards.*
  - a. *Scale and Context.* All lighting shall be designed and installed in scale and context with the architecture of the building. Standard security lighting shall not be used in lieu of architectural lighting. In general, actual light bulbs should not be visible.
  - b. *Accent Lighting.* Accent lighting shall be used to highlight architectural fenestration, entry and access points, landscaping elements, and artwork.
  - c. *Rope Lighting.* Holiday and other styles of temporary rope lighting may not be used on a permanent basis. Light fixtures shall be in compliance with the adopted electrical code.

## SECTION 9 – Signs

**A. Guiding Principles**

The guiding principles of the signage standards of this PD are to ensure quality signage that is compatible with development within this PD, while maintaining content neutrality and accommodating the expression rights of the First Amendment to the U.S. Constitution.

**B. Unified Signage Plans**

Signage may be required to be submitted as part of a Unified Signage Plan as described in Article 9, *Sign Standards*, of the UDC for master planned developments. Individual tenant signs may be approved administratively on a case by case basis.

**C. Design Guidelines**

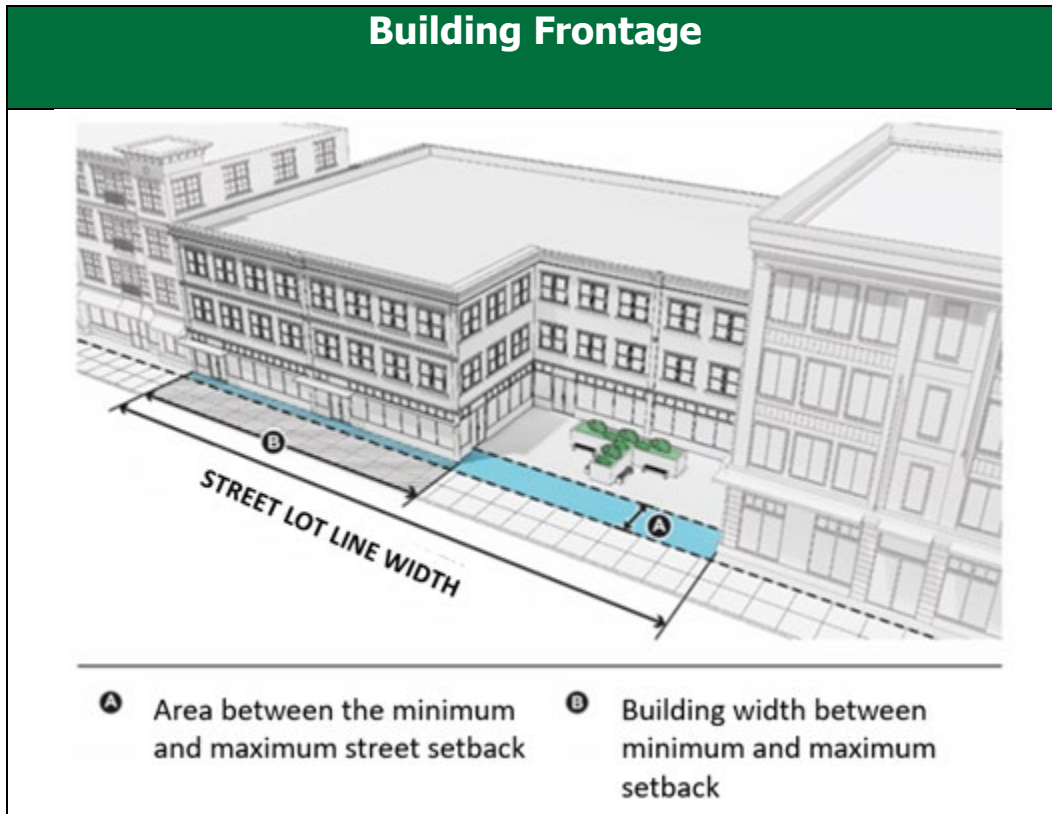
All signage within this PD should fulfill the spirit and intent of Appendix G, *Design Guidelines for Signage* of the UDC.

## SECTION 10 – Definitions

Words defined within this Section are in addition to the ones found in Article 30, *Definitions*, of the UDC.

**Director** means Grand Prairie’s Planning and Development Director or designee.

**Building Frontage** means the widest measurement of the building ("B" in the illustration below) that is within the minimum and maximum street setback or side setback ("A" in the illustration below), as measured parallel to the specified lot line, represented as a percentage of the total width of the parallel lot line.

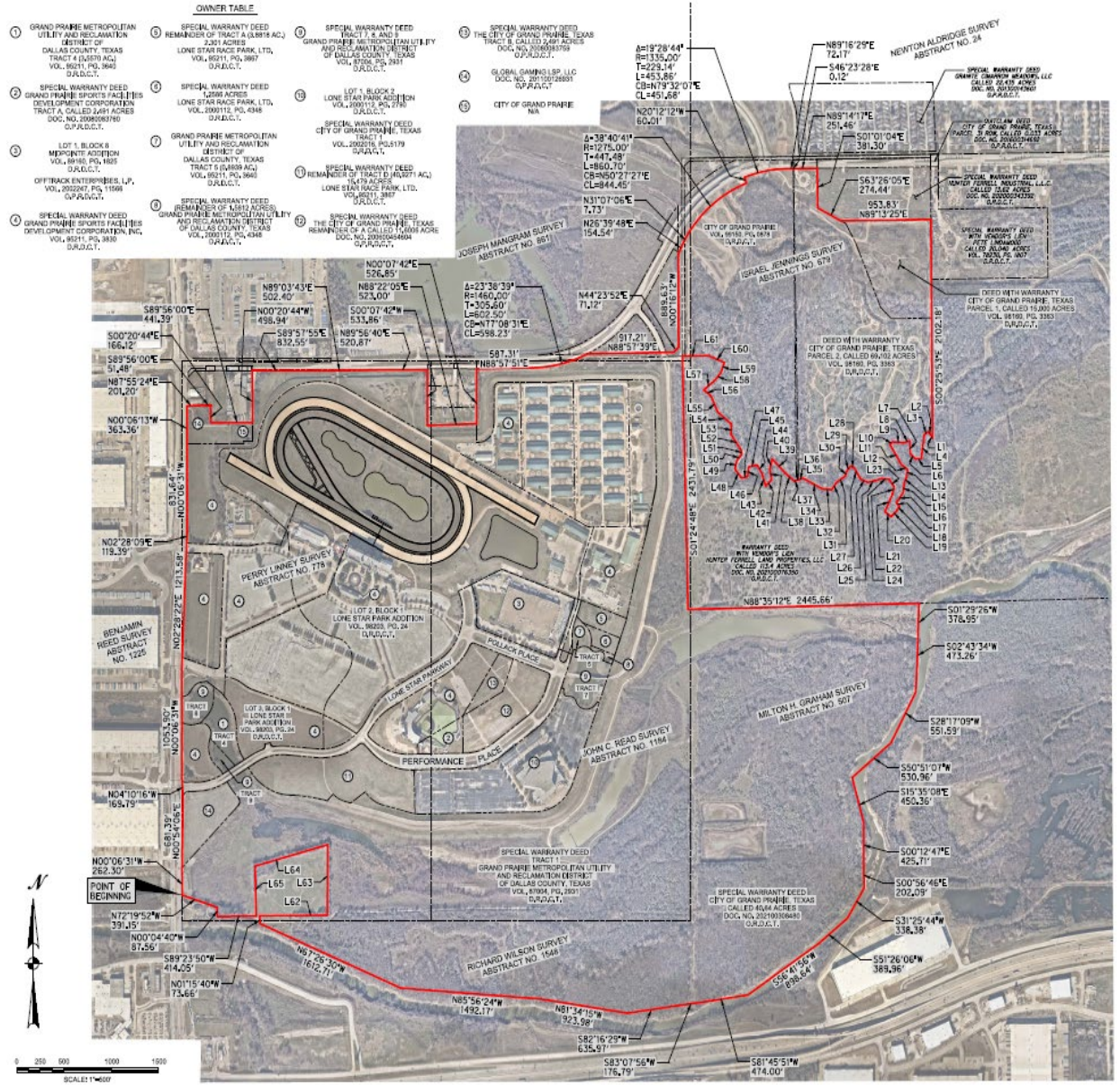


**Primary Building Entrance** means a building entrance that serves the public and is not meant solely for employee or service use. A building may have more than one primary building entrance.

**DBH (Diameter at Breast Height)** means the standard method of measuring the size of the trunk of a matured tree at 4.5 feet above the ground.

**Casino** A gambling facility which is open to the public and provides space for slot machines and other interactive gambling activities such as table games, and a sports book and race pool. Casinos are only authorized to the extent permitted by applicable law.

Exhibit A, District Boundary



OWNER TABLE

- 1 GRAND PRAIRIE METROPOLITAN UTILITY AND RECLAMATION DISTRICT OF DALLAS COUNTY, TEXAS TRACT 4 (4559 AC) VOL. 8971, PG. 987 D.U.D.C.T.
- 2 SPECIAL WARRANTY DEED GRAND PRAIRIE SPORTS FACILITIES DEVELOPMENT CORPORATION TRACT A, CALLED 2474 ACRES DOC. NO. 200609196 D.U.D.C.T.
- 3 LOT 1, BLOCK 8 MERCHANT ACRES VOL. 8976, PG. 1482 D.U.D.C.T.
- 4 OFFTRACK ENTERPRISES, LP, VOL. 202267, PG. 1558 D.U.D.C.T.
- 5 SPECIAL WARRANTY DEED GRAND PRAIRIE SPORTS FACILITIES DEVELOPMENT CORPORATION, INC. VOL. 8971, PG. 988 D.U.D.C.T.
- 6 SPECIAL WARRANTY DEED REMAINDER OF TRACT A (819 AC) 2,001 ACRES LONE STAR PARK, LTD. VOL. 8971, PG. 987 D.U.D.C.T.
- 7 SPECIAL WARRANTY DEED 4,288 ACRES LONE STAR PARK, LTD. VOL. 200112, PG. 498 D.U.D.C.T.
- 8 GRAND PRAIRIE METROPOLITAN UTILITY AND RECLAMATION DISTRICT OF DALLAS COUNTY, TEXAS TRACT 5 (809 AC) VOL. 8971, PG. 983 D.U.D.C.T.
- 9 SPECIAL WARRANTY DEED REMAINDER OF 4,840 ACRES GRAND PRAIRIE METROPOLITAN UTILITY AND RECLAMATION DISTRICT OF DALLAS COUNTY, TEXAS VOL. 200112, PG. 498 D.U.D.C.T.
- 10 SPECIAL WARRANTY DEED TRACT 1, 2 AND GRAND PRAIRIE METROPOLITAN UTILITY AND RECLAMATION DISTRICT OF DALLAS COUNTY, TEXAS VOL. 8976, PG. 981 D.U.D.C.T.
- 11 LOT 1, BLOCK 2 LONE STAR PARK ADDITION VOL. 400712, PG. 718 D.U.D.C.T.
- 12 SPECIAL WARRANTY DEED TRACT 1, 2 AND GRAND PRAIRIE METROPOLITAN UTILITY AND RECLAMATION DISTRICT OF DALLAS COUNTY, TEXAS VOL. 202216, PG. 1519 D.U.D.C.T.
- 13 REMAINDER OF TRACT D (4027 AC) VOL. 400712, PG. 718 D.U.D.C.T.
- 14 SPECIAL WARRANTY DEED THE CITY OF GRAND PRAIRIE, TEXAS LONE STAR PARK, LTD. VOL. 400712, PG. 718 D.U.D.C.T.
- 15 SPECIAL WARRANTY DEED THE CITY OF GRAND PRAIRIE, TEXAS REMAINDER OF A CALLED 17,000 ACRES DOC. NO. 200609196 D.U.D.C.T.
- 16 SPECIAL WARRANTY DEED THE CITY OF GRAND PRAIRIE, TEXAS TRACT B, CALLED 2,481 ACRES DOC. NO. 200609196 D.U.D.C.T.
- 17 GLOBAL GAMING LLP, LLC DOC. NO. 2012022685 D.U.D.C.T.
- 18 CITY OF GRAND PRAIRIE NA
- 19 SPECIAL WARRANTY DEED THE CITY OF GRAND PRAIRIE, TEXAS TRACT C, CALLED 2,481 ACRES DOC. NO. 200609196 D.U.D.C.T.
- 20 SPECIAL WARRANTY DEED GRAND PRAIRIE MANOR, LLC CALLED 30.47 ACRES DOC. NO. 200507190 D.U.D.C.T.
- 21 SATULAN ACRES CITY OF GRAND PRAIRIE, TEXAS PARCEL 31, CALLED 32.01 ACRES DOC. NO. 200507190 D.U.D.C.T.
- 22 SPECIAL WARRANTY DEED MONTY JAMES, JR., L.L.C. CALLED 13.02 ACRES DOC. NO. 200507190 D.U.D.C.T.
- 23 SPECIAL WARRANTY DEED PETER J. HANCOCK CALLED 13.02 ACRES DOC. NO. 200507190 D.U.D.C.T.
- 24 DEED WITH WARRANTY CITY OF GRAND PRAIRIE, TEXAS PARCEL 1, CALLED 15.00 ACRES VOL. 8976, PG. 333 D.U.D.C.T.

## *Exhibit B, Legal Description*

Being a part of the Israel Jennings Survey, Abstract No. 679, the John C. Read Survey, Abstract No. 1184, the Richard Wilson Survey, Abstract No. 1548, the Milton H. Graham Survey, Abstract No. 507, the Joseph Mangram Survey, Abstract No. 861, and the Perry Linney Survey, Abstract No. 778 in the City of Grand Prairie, Dallas County, Texas, being all of that called 15.000 acre tract of land described as Parcel 1 and all of that called 69.102 acre tract of land described as Parcel 2 in Deed With Warranty to the City of Grand Prairie, Texas as recorded in Volume 98160, Page 3363 in the Deed Records of Dallas County, Texas (D.R.D.C.T.), being all of that called 384.7458 acre tract of land described as Tract 1, being all of that called 4.8786 acre tract of land described as Tract 7, being all of that called 2.4662 acre tract of land described as Tract 8, being all of that called 0.9848 acre tract of land described as Tract 9, all in Special Warranty Deed to Grand Prairie Metropolitan Utility and Reclamation District as recorded in Volume 87004, Page 2931 D.R.D.C.T., being all of that called 3.5570 acre tract of land described as Tract 4 in Special Warranty Deed to Grand Prairie Metropolitan Utility and Reclamation District as recorded in Volume 95211, Page 3640 D.R.D.C.T., being the remainder of that tract of land described in Special Warranty Deed to the City of Grand Prairie, Texas as recorded in Volume 99150, Page 878 D.R.D.C.T., being those tracts of land described in Warranty Deed to Global Gaming LSP, LLC as recorded in Document No. 201100126931 in the Official Public Records of Dallas County, Texas, being that called 2.491 acre tract of land described as Traci B lo the City of Grand Prairie as recorded in Document No. 20080083759 in the Official Public Records of Dallas County, Texas (O.P.R.D.C.T.), being the remainder of a called 11.6006 acre tract of land described in Special Warranty Deed to the City of Grand Prairie, Texas as recorded in Document No. 200600454604 O.P.R.D.C.T., being all of that called 2.491 acre tract of land described as Tract A in Special Warranty Deed to Grand Prairie Sports Facilities Development as recorded in Document No. 20080083760 O.P.R.D.C.T., being all of that called 40.64 acre tract of land described in Special Warranty Deed to the City of Grand Prairie, Texas as recorded in Document No. 202100308480 in the Official Records of Dallas County, Texas, being all of Block 1, Lots 2 and 3, Lone Star Park Addition, an addition to the City Of Grand Prairie, Dallas County Texas as recorded in Volume 98203, Page 24 in the Plat Records of Dallas County, Texas (P.R.D.C.T.), being all of Lot 1, Block 8, Midpointe Addition, an addition to the City of Grand Prairie, Dallas County, Texas as recorded in Volume 89160, Page 1825 P.R.D.C.T., same being described in General Warranty Deed to Offtrack Enterprises, L.P. recorded in Volume 2002247, Page 11566 D.R.D.C.T., being all of Midpointe Phase 1, an addition to the City of Grand Prairie, Dallas County, Texas as recorded in Volume 87040, Page 6182 P.R.D.C.T., being all of Lot 1, Block 2, Lone Star Park Addition, an addition to the City of Grand Prairie, Texas as recorded in Volume 2000112, Page 2790 P.R.D.C.T., same being described as that called 25.5071 acre tract of land described in Special Warranty Deed lo the City of Grand Prairie, as recorded in Volume 2002016, Page 5179 D.R.D.C.T., and being more particularly described as follows:

BEGINNING at the most westerly southwest corner of said 384.7458 tract of land and being on the east right-of-way line of Beltline Road (variable width right-of-way);

THENCE North 00 degrees 06 minutes 31 seconds West, along said east right-of-way line, a distance of 262.30 feet, more or less to a point for corner;

THENCE North 00 degrees 54 minutes 06 seconds East, continuing along said east right-of-way line, a distance of 681.39 feet, more or less to a point for corner;

THENCE North 04 degrees 10 minutes 16 seconds West, continuing along said east right-of-way line, a distance of 169.79 feet, more or less to a point for corner;

THENCE North 00 degrees 06 minutes 31 seconds West, continuing along said east right-of-way line, a distance of 1,053.90 feet, more or less to a point for corner;

THENCE North 02 degrees 28 minutes 22 seconds East, continuing along said east right-of-way line, a distance of 1,213.58 feet, more or less to a point for corner;

THENCE North 02 degrees 28 minutes 09 seconds East, continuing along said east right-of-way line, a distance of 119.39 feet, more or less to a point for corner;

THENCE North 00 degrees 06 minutes 31 seconds West, continuing along said east right-of-way line, a distance of 831.64 feet, more or less to a point for corner;

THENCE North 00 degrees 06 minutes 13 seconds West, continuing along said east right-of-way line, a distance of 363.36 feet, more or less to a point for corner;

THENCE North 87 degrees 55 minutes 24 seconds East, departing said east right-of-way line, a distance of 201.20 feet, more or less to a point for corner;

THENCE South 89 degrees 56 minutes 00 seconds East, a distance of 51.48 feet, more or less to a point for corner;

THENCE South 00 degrees 20 minutes 44 seconds East, a distance of 166.12 feet, more or less to a point for corner;

THENCE South 89 degrees 56 minutes 00 seconds East, a distance of 441.39 feet, more or less to a point for corner;

THENCE North 00 degrees 20 minutes 44 seconds West, a distance of 498.94 feet, more or less to a point for corner on the south right-of-way line of Hunter Ferrell Road (variable width right-of-way);

THENCE South 89 degrees 57 minutes 55 seconds East, along said south right-of-way line, a distance of 832.55 feet, more or less to a point for corner;

THENCE North 89 degrees 03 minutes 43 seconds East, continuing along said south right-of-way line, a distance of 502.40 feet, more or less to a point for corner;



THENCE North 89 degrees 56 minutes 40 seconds East, continuing along said south right-of-way line, a distance of 520.87 feet, more or less to a point for corner;

THENCE South 00 degrees 07 minutes 42 seconds West, departing said south right-of-way line, a distance of 533.86 feet, more or less to a point for corner;

THENCE North 88 degrees 22 minutes 05 seconds East, a distance of 523.00 feet, more or less to a point for corner;

THENCE North 00 degrees 07 minutes 42 seconds East, a distance of 526.85 feet, more or less to a point for corner on said south right-of-way line;

THENCE North 88 degrees 57 minutes 51 seconds East, along said south right-of-way line, a distance of 587.31 feet, more or less to the point of curvature of a circular curve to the left, having a radius of 1,460.00 feet, whose chord bears North 77 degrees 08 minutes 31 seconds East, a distance of 598.23 feet, more or less;

THENCE Northeasterly, continuing along said south right-of-way line and along said circular curve to the left, through a central angle of 23 degrees 38 minutes 39 seconds, an arc length of 602.50 feet, more or less to a point for corner;

THENCE North 88 degrees 57 minutes 39 seconds East, departing said south right-of-way line, a distance of 917.21 feet, more or less to a point for corner;

THENCE North 44 degrees 23 minutes 52 seconds East, a distance of 71.12 feet, more or less to a point for corner;

THENCE North 00 degrees 16 minutes 12 seconds West, a distance of 889.63 feet, more or less to a point for corner on said south right-of-way line;

THENCE North 26 degrees 39 minutes 48 seconds East, along said south right-of-way line, a distance of 154.54 feet, more or less to a point for corner;

THENCE North 31 degrees 07 minutes 06 seconds East, continuing along said south right-of-way line, a distance of 7.73 feet, more or less to the point of curvature of a circular curve to the right, having a radius of 1,275.00 feet, whose chord bears North 50 degrees 27 minutes 27 seconds East, a distance of 844.45 feet, more or less;

THENCE Northeasterly, continuing along said south right-of-way line and along said circular curve to the right, through a central angle of 38 degrees 40 minutes 41 seconds, an arc length of 860.70 feet, more or less to a point for corner;

THENCE North 20 degrees 12 minutes 12 seconds West, continuing along said south right-of-way line, a distance of 60.01 feet, more or less to the point of curvature of a non-tangent circular curve to the right, having a radius of 1,335.00 feet, whose chord bears North 79 degrees 32 minutes 07 seconds East, a distance of 451.68 feet, more or less;

THENCE Northeasterly, continuing along said south right-of-way line and along said circular curve to the right, through a central angle of 19 degrees 28 minutes 44 seconds, an arc length of 453.86 feet, more or less to a point for corner;

THENCE North 89 degrees 16 minutes 29 seconds East, continuing along said south right-of-way line, a distance of 72.17 feet, more or less to a point for corner;

THENCE South 46 degrees 23 minutes 28 seconds East, continuing along said south right-of-way line, a distance of 0.12 feet, more or less to a point for corner;

THENCE North 89 degrees 14 minutes 17 seconds East, continuing along said south right-of-way line, a distance of 251.46 feet, more or less to a point for corner on the common line between said called 69.102 acre tract and that called 13.62 acre tract of land described in Special Warranty Deed to Hunter Ferrell Industrial, L.L.C. as recorded in Document No. 202000343392 in the Official Records of Dallas County, Texas (O.R.D.C.T.);

THENCE South 01 degree 01 minute 04 seconds East, along said common line, a distance of 381.30 feet, more or less to a point for corner;

THENCE South 63 degrees 26 minutes 05 seconds East, continuing along said common line, a distance of 274.44 feet, more or less to a point for corner;

THENCE North 89 degrees 13 minutes 25 seconds East, departing said common line and along the common line between said 15.000 acre tract and said 13.62 acre tract, a distance of 953.83 feet, more or less to a point for corner on the west line of that called 20.040 acre tract of land described in Special Warranty Deed with Vendor's Lien to Pete Lindamood as recorded in Volume 78230, Page 1807 D.R.D.C.T.;

THENCE South 00 degrees 25 minutes 53 seconds East, departing said common line, a distance of 2,102.18 feet, more or less to a point for corner on the north line of that called 113.4 acre tract of land described in Warranty Deed with Vendor's Lien to Hunter Ferrell Land Properties, LLC as recorded in Document No. 202100076350 O.R.D.C.T., and being in the center of Bear Creek;

THENCE North 22 degrees 05 minutes 45 seconds West, along said Bear Creek, a distance of 33.84 feet, more or less to a point for corner;

THENCE North 44 degrees 56 minutes 53 seconds West, continuing along said Bear Creek, a distance of 47.81 feet, more or less to a point for corner;

THENCE South 53 degrees 02 minutes 38 seconds West, continuing along said Bear Creek, a distance of 51.03 feet, more or less to a point for corner;

THENCE South 07 degrees 47 minutes 32 seconds West, continuing along said Bear Creek, a distance of 231.99 feet, more or less to a point for corner;

THENCE South 86 degrees 58 minutes 22 seconds West, continuing along said Bear Creek, a distance of 59.80 feet, more or less to a point for corner;

THENCE North 46 degrees 29 minutes 29 seconds West, continuing along said Bear Creek, a distance of 79.95 feet, more or less to a point for corner;

THENCE North 01 degree 49 minutes 14 seconds West, continuing along said Bear Creek, a distance of 119.83 feet, more or less to a point for corner;

THENCE South 75 degrees 54 minutes 21 seconds West, continuing along said Bear Creek, a distance of 70.74 feet, more or less to a point for corner;

THENCE North 85 degrees 30 minutes 10 seconds West, continuing along said Bear Creek, a distance of 112.52 feet, more or less to a point for corner;

THENCE South 52 degrees 44 minutes 04 seconds West, continuing along said Bear Creek, a distance of 37.80 feet, more or less to a point for corner;

THENCE South 32 degrees 00 minutes 46 seconds East, continuing along said Bear Creek, a distance of 230.77 feet, more or less to a point for corner;

THENCE South 53 degrees 24 minutes 28 seconds East, continuing along said Bear Creek, a distance of 81.44 feet, more or less to a point for corner;

THENCE South 07 degrees 44 minutes 12 seconds West, continuing along said Bear Creek, a distance of 61.23 feet, more or less to a point for corner;

THENCE South 20 degrees 59 minutes 13 seconds West, continuing along said Bear Creek, a distance of 75.28 feet, more or less to a point for corner;

THENCE South 08 degrees 07 minutes 43 seconds West, continuing along said Bear Creek, a distance of 90.10 feet, more or less to a point for corner;

THENCE South 35 degrees 54 minutes 51 seconds West, continuing along said Bear Creek, a distance of 120.24 feet, more or less to a point for corner;

THENCE South 44 degrees 04 minutes 09 seconds East, continuing along said Bear Creek, a distance of 47.68 feet, more or less to a point for corner;

THENCE South 35 degrees 19 minutes 36 seconds West, continuing along said Bear Creek, a distance of 52.45 feet, more or less to a point for corner;

THENCE South 46 degrees 14 minutes 42 seconds West, continuing along said Bear Creek, a distance of 80.02 feet, more or less to a point for corner;

THENCE North 55 degrees 31 minutes 39 seconds West, continuing along said Bear Creek, a distance of 80.94 feet, more or less to a point for corner;

THENCE North 25 degrees 06 minutes 00 seconds East, continuing along said Bear Creek, a distance of 199.68 feet, more or less to a point for corner;

THENCE North 11 degrees 49 minutes 16 seconds East, continuing along said Bear Creek, a distance of 60.51 feet, more or less to a point for corner;

THENCE North 34 degrees 48 minutes 56 seconds West, continuing along said Bear Creek, a distance of 85.98 feet, more or less to a point for corner;

THENCE North 84 degrees 50 minutes 00 seconds West, continuing along said Bear Creek, a distance of 79.96 feet, more or less to a point for corner;

THENCE South 76 degrees 24 minutes 37 seconds West, continuing along said Bear Creek, a distance of 153.46 feet, more or less to a point for corner;

THENCE North 66 degrees 50 minutes 13 seconds West, continuing along said Bear Creek, a distance of 86.64 feet, more or less to a point for corner;

THENCE North 30 degrees 55 minutes 07 seconds West, continuing along said Bear Creek, a distance of 126.43 feet, more or less to a point for corner;

THENCE North 70 degrees 50 minutes 46 seconds West, continuing along said Bear Creek, a distance of 42.47 feet, more or less to a point for corner;

THENCE South 38 degrees 30 minutes 40 seconds West, continuing along said Bear Creek, a distance of 69.24 feet, more or less to a point for corner;

THENCE South 13 degrees 20 minutes 26 seconds West, continuing along said Bear Creek, a distance of 40.86 feet, more or less to a point for corner;

THENCE South 56 degrees 27 minutes 39 seconds West, continuing along said Bear Creek, a distance of 110.26 feet, more or less to a point for corner;

THENCE South 37 degrees 22 minutes 48 seconds West, continuing along said Bear Creek, a distance of 89.90 feet, more or less to a point for corner;

THENCE North 85 degrees 44 minutes 18 seconds West, continuing along said Bear Creek, a distance of 99.06 feet, more or less to a point for corner;

THENCE North 63 degrees 17 minutes 45 seconds West, continuing along said Bear Creek, a distance of 228.03 feet, more or less to a point for corner;

THENCE South 69 degrees 44 minutes 49 seconds West, continuing along said Bear Creek, a distance of 51.84 feet, more or less to a point for corner;

THENCE South 89 degrees 14 minutes 23 seconds West, continuing along said Bear Creek, a distance of 23.36 feet, more or less to a point for corner;

THENCE South 70 degrees 10 minutes 32 seconds West, continuing along said Bear Creek, a distance of 23.97 feet, more or less to a point for corner;

THENCE North 51 degrees 14 minutes 11 seconds West, continuing along said Bear Creek, a distance of 117.65 feet, more or less to a point for corner;

THENCE North 45 degrees 42 minutes 13 seconds West, continuing along said Bear Creek, a distance of 197.52 feet, more or less to a point for corner;

THENCE South 12 degrees 59 minutes 19 seconds West, continuing along said Bear Creek, a distance of 99.71 feet, more or less to a point for corner;

THENCE South 08 degrees 19 minutes 07 seconds East, a distance of 105.34 feet, more or less to a point for corner;

THENCE South 45 degrees 28 minutes 22 seconds West, continuing along said Bear Creek, a distance of 84.34 feet, more or less to a point for corner;

THENCE North 18 degrees 27 minutes 39 seconds West, continuing along said Bear Creek, a distance of 130.08 feet, more or less to a point for corner;

THENCE North 32 degrees 38 minutes 49 seconds West, continuing along said Bear Creek, a distance of 93.91 feet, more or less to a point for corner;

THENCE South 77 degrees 07 minutes 23 seconds West, continuing along said Bear Creek, a distance of 92.24 feet, more or less to a point for corner;

THENCE South 06 degrees 25 minutes 04 seconds West, continuing along said Bear Creek, a distance of 91.28 feet, more or less to a point for corner;

THENCE South 79 degrees 01 minute 55 seconds West, continuing along said Bear Creek, a distance of 65.58 feet, more or less to a point for corner;

THENCE North 39 degrees 50 minutes 49 seconds West, continuing along said Bear Creek, a distance of 111.39 feet, more or less to a point for corner;

THENCE North 16 degrees 01 minute 55 seconds East, continuing along said Bear Creek, a distance of 87.68 feet, more or less to a point for corner;

THENCE North 40 degrees 44 minutes 13 seconds East, continuing along said Bear Creek, a distance of 72.79 feet, more or less to a point for corner;

THENCE North 07 degrees 12 minutes 59 seconds West, continuing along said Bear Creek, a distance of 42.60 feet, more or less to a point for corner;

THENCE North 35 degrees 41 minutes 26 seconds West, continuing along said Bear Creek, a distance of 182.45 feet, more or less to a point for corner;

THENCE North 01 degree 33 minutes 31 seconds East, continuing along said Bear Creek, a distance of 101.94 feet, more or less to a point for corner;

THENCE North 51 degrees 19 minutes 07 seconds West, continuing along said Bear Creek, a distance of 185.41 feet, more or less to a point for corner;

THENCE North 24 degrees 34 minutes 03 seconds West, continuing along said Bear Creek, a distance of 169.76 feet, more or less to a point for corner;

THENCE North 53 degrees 40 minutes 16 seconds West, continuing along said Bear Creek, a distance of 95.10 feet, more or less to a point for corner;

THENCE North 51 degrees 32 minutes 25 seconds East, continuing along said Bear Creek, a distance of 159.23 feet, more or less to a point for corner;

THENCE North 41 degrees 06 minutes 03 seconds East, continuing along said Bear Creek, a distance of 84.33 feet, more or less to a point for corner;

THENCE North 20 degrees 54 minutes 07 seconds East, continuing along said Bear Creek, a distance of 106.98 feet, more or less to a point for corner;

THENCE North 68 degrees 27 minutes 55 seconds West, continuing along said Bear Creek, a distance of 178.58 feet, more or less to a point for corner;

THENCE South 89 degrees 03 minutes 55 seconds West, departing said Bear Creek, a distance of 278.57 feet, more or less to a point for the northwest corner of said called 113.4 acre tract corner;

THENCE South 01 degree 24 minutes 48 seconds East, along the common line between said Tract 1 and said 113.4 acre tract, a distance of 2,431.79 feet, more or less to a point for corner;

THENCE North 88 degrees 35 minutes 12 seconds East, continuing along said common line, a distance of 2,445.66 feet, more or less to a point for the most easterly northeast corner of said called 384.7458 tract of land;

THENCE South 01 degree 29 minutes 26 seconds West, departing said common line and along the meanders of the west bank of the Trinity River, a distance of 378.95 feet, more or less to a point for corner;

THENCE South 02 degrees 43 minutes 34 seconds, continuing along said meanders, West a distance of 473.26 feet, more or less to a point for corner;

THENCE South 28 degrees 17 minutes 09 seconds West, continuing along said meanders, a distance of 551.59 feet, more or less to a point for corner;

THENCE South 50 degrees 51 minutes 07 seconds West, continuing along said meanders, a distance of 530.96 feet, more or less to a point for corner;

THENCE South 15 degrees 35 minutes 08 seconds East, continuing along said meanders, a distance of 450.36 feet, more or less to a point for corner;

THENCE South 00 degrees 12 minutes 47 seconds East, continuing along said meanders, a distance of 425.71 feet, more or less to a point for corner;

THENCE South 00 degrees 56 minutes 46 seconds East, continuing along said meanders, a distance of 202.09 feet to a point for corner;

THENCE South 31 degrees 25 minutes 44 seconds West, continuing along said meanders, a distance of 338.38 feet to a point for corner;

THENCE South 51 degrees 26 minutes 06 seconds West, continuing along said meanders, a distance of 389.96 feet to a point for corner;

THENCE South 56 degrees 41 minutes 56 seconds West, continuing along said meanders, a distance of 898.64 feet to a point for the east corner of a perpetual easement described in Warranty Deed to Texas Turnpike Authority as recorded in Volume 4426, Page 48 D.R.D.C.T.;

THENCE South 81 degrees 45 minutes 51 seconds West, departing said meanders, a distance of 474.00 feet to a point for corner;

THENCE South 83 degrees 07 minutes 56 seconds West, a distance of 176.79 feet to a point for the southeast corner of said Tract 1;

THENCE South 82 degrees 16 minutes 29 seconds West, along the south line of said Tract 1, a distance of 635.97 feet, more or less to a point for corner;

THENCE North 81 degrees 34 minutes 15 seconds West, continuing along the south line of said Tract 1, a distance of 923.98 feet, more or less to a point for corner;

THENCE North 85 degrees 56 minutes 24 seconds West, continuing along the south line of said Tract 1, a distance of 1,492.17 feet, more or less to a point for corner;

THENCE North 67 degrees 26 minutes 30 seconds West, continuing along the south line of said Tract 1, a distance of 1,612.71 feet, more or less to a point for corner;

THENCE North 01 degree 15 minutes 40 seconds West, continuing along the south line of said Tract 1, a distance of 73.66 feet, more or less to a point for corner;

THENCE North 89 degrees 30 minutes 50 seconds East, continuing along the south line of said Tract 1, a distance of 713.87 feet, more or less to a point for corner;

THENCE North 00 degrees 15 minutes 53 seconds East, continuing along the south line of said Tract 1, a distance of 676.67 feet, more or less to a point for corner;

THENCE South 75 degrees 00 minutes 12 seconds West, continuing along the south line of said Tract 1, a distance of 795.94 feet, more or less to a point for corner;

THENCE South 01 degrees 45 minutes 55 seconds East, continuing along the south line of said Tract 1, a distance of 478.85 feet, more or less to a point for corner;

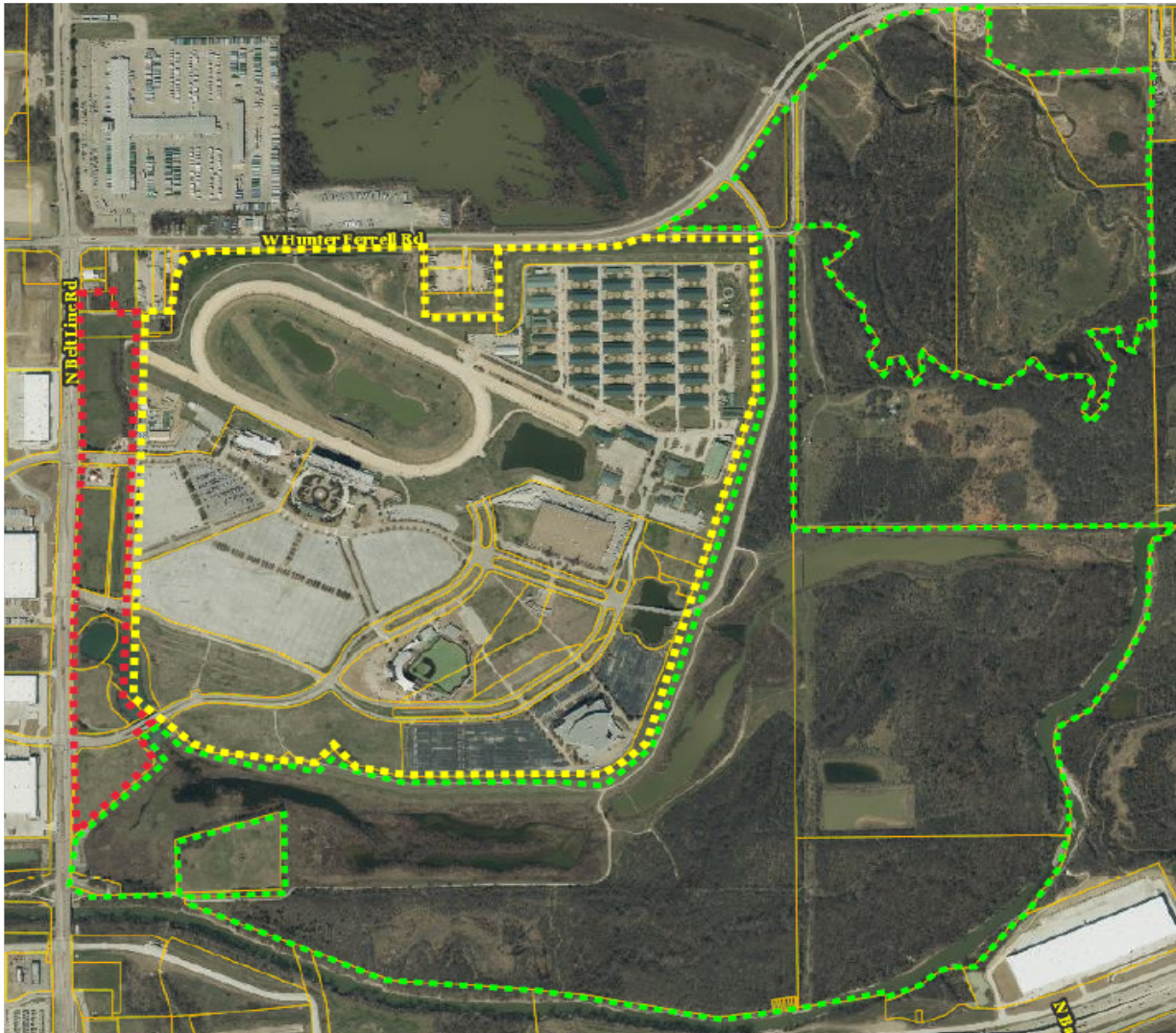
THENCE South 89 degrees 23 minutes 50 seconds West, continuing along the south line of said Tract 1, a distance of 414.05 feet, more or less to a point for corner;

THENCE North 00 degrees 04 minutes 40 seconds West, continuing along the south line of said Tract 1, a distance of 87.56 feet, more or less to a point for corner;

THENCE North 72 degrees 19 minutes 52 seconds West, continuing along the south line of said Tract 1, a distance of 391.15 feet, more or less to the POINT OF BEGINNING AND CONTAINING 43,632,392 square feet or 1001.7 acres of land, more or less.



*Exhibit C, Concept Plan and Conceptual Images*



**Concept Plan Areas**

**Red = Corridor Commercial; Yellow = Entertainment / Retail and Office;  
Green = Perimeter Area**





Exhibit C - Concept Area Plan  
Page 1 of 1

